



# Municipality of Port Hope

## BAULCH ROAD PARKLAND

### Background Information & Conceptual Design Process



**THE GREER  
GALLOWAY GROUP INC.**  
ENGINEERS • PLANNERS

**HEARTLAND  
ENVIRONMENTAL  
DESIGN**

RR 4, 234 Marsh Hill Rd.  
Stirling, ON  
K0K 3E0

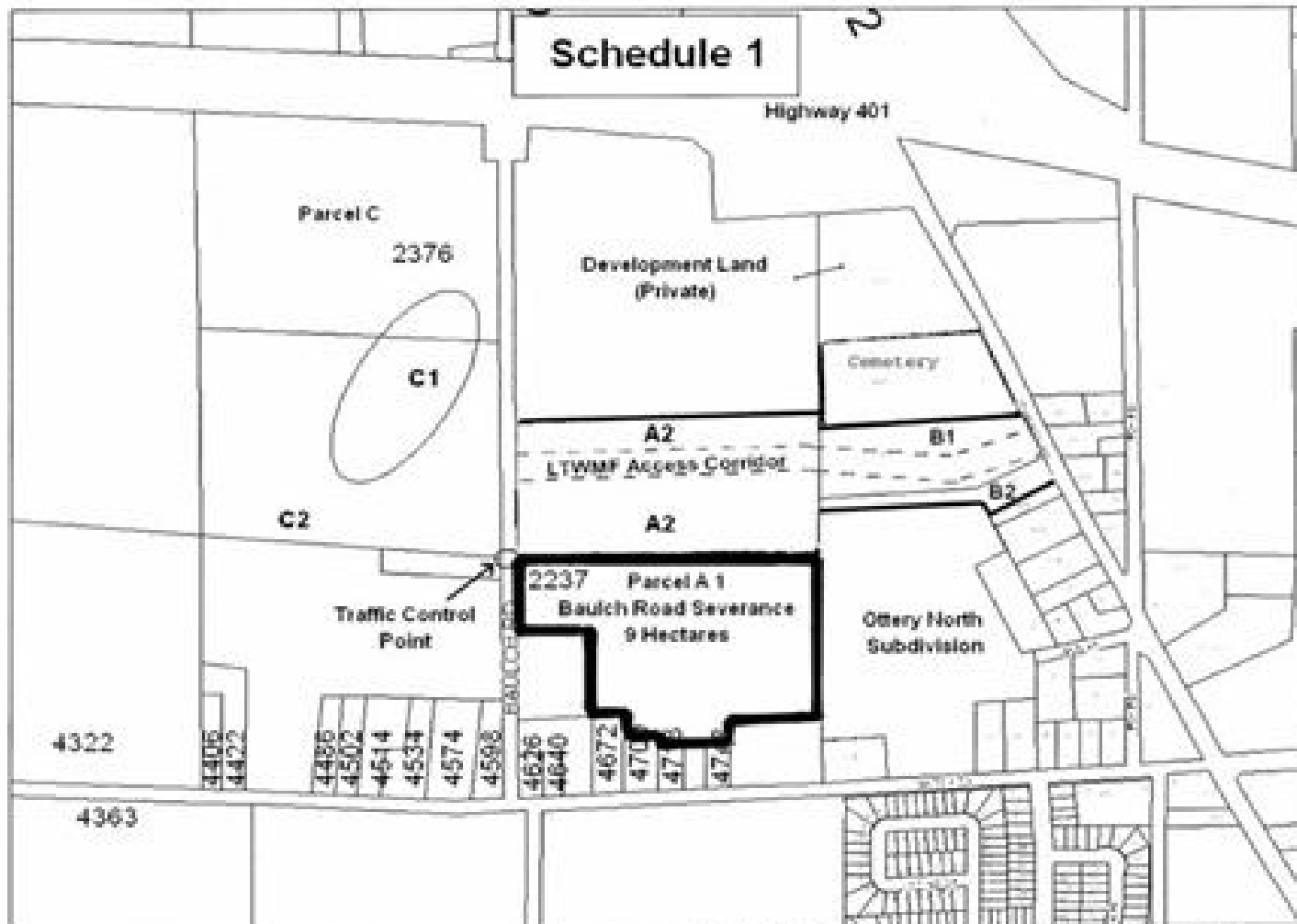
P. 613-395-5863  
F. 613-395-6275

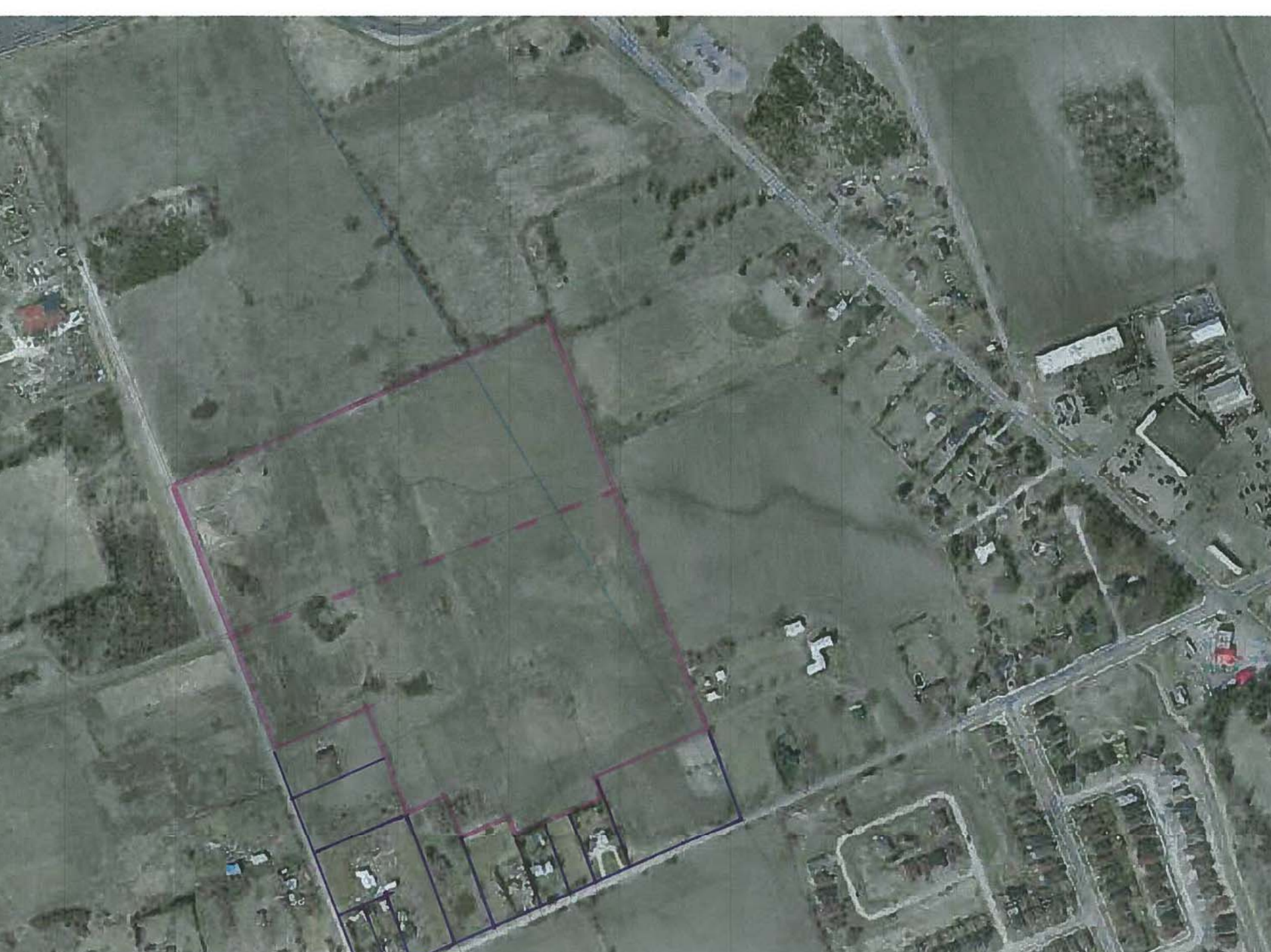


Park & Waterfront  
Planning  
Urban Design  
Trail Development  
Environmental  
Planning  
Transportation  
Planning  
Residential Design

# Baulch Road Parkland

- The Municipality of Port Hope and Canada (Ministry of Natural Resources) have a lease agreement for use of the land located on Baulch Road for the construction and use of the lands as sports fields. By-law 37-2010.
- This park project involves the 9 ha (22.24 acres) of land at 2237 Baulch Road, currently being leased to the Municipality by **Natural Resources Canada** (NRCan), known as Parcel A1, which is located to the southeast of the long term storage facility .
- The Municipality of Port Hope has the option to purchase Parcel A1 for \$1 when the lands are no longer required by NRCan for project delivery. The adjacent lands (A2) to the north of Parcel A1 may also be available in the future.
- The agreement with NRCan includes a payment of \$1,000,000 to the Municipality to develop these lands.





# Site Photos



Looking north along Baulch Road



Looking east towards Hope Springs subdivision



Upper terrace is undulating and poorly drained



Native willow shrub cover

# Site Photos



View up slope towards the west



Two large trees in central area of site



Naturalized woodland along eastern edge



Low lying depressions at western edge

# *How We Got Here....*

## Tasks Completed to date:

- Met with Municipal staff in May 2011
- Conducted site investigation including existing vegetation, drainage patterns, soil conditions, geotechnical review
- Reviewed all relevant reports and background data, particularly the Municipality of Port Hope Leisure Services Master Plan which guides the development strategy for the 9 hectares (22.24 acres) of parkland
- Reviewed the pertinent lease/purchase arrangements between the Municipality of Port Hope and NRCan, who are the current property owners

# Tasks completed to date

*continued*

- Met with primary user groups including Port Hope Minor Soccer Club and Port Hope Minor Baseball Association to receive their input
- Met with the Parks, Recreation & Cultural Advisory Committee
- Prepared several alternate conceptual layouts for review and comment by Municipal staff, Soccer and Baseball groups
- Prepared an Abiotic (non-living) Biotic (living) and Cultural (human uses) Inventory and Analysis of the site.

# Considerations in the Design Process:

- Comments received from User Groups
- Staff and PRC Advisory Committee input
- The physical constraints and opportunities of the property
- Standards and guidelines for optimal sports field development
- Review of available Municipal Services
- Review of Port Hope Area Initiative (PHAI) Haul Road design
- Consideration of Hope Springs Subdivision Plans
- Development and refinement process for several alternative layouts

# Draft Site Program

- Minimum two soccer fields
- Minimum one baseball diamond
- Adequate parking & vehicular access to fields
- Multi-court area
- Picnic facilities
- Walking trails
- Cultural and Social opportunities
- Budget \$1,000,000 over two years from NRCan



# What We Heard From Soccer

- Soccer groups are growing every year with increasing interest in expanding Adult and Tournament Soccer and an expanding Rep Soccer Program
- Current available playing fields are maxed out
- Concerned that the lease arrangements for six soccer fields currently in place with Trinity College School (TCS) may not be in place forever
- Requirements for one or two primary - FIFA size fields that would meet the needs of adult and tournament players
- One central location that would house all soccer facilities is preferred to accommodate Adult, Senior, Rep and Tournament play
- Change rooms and washrooms are desirable

# What We Heard From Baseball



- Numbers of ball player registrations fluctuate from year to year, but there is a solid legacy of softball/hardball activities in the area
- One current premier ball field is located in Town Park
- Main need is for one additional full sized senior hardball field with lighting, which would allow for extended evening times for practices and games
- Support the idea of similar facilities in one location, and willing to wait for upgrades to existing Municipal facilities if necessary

# What We Heard from Parks Recreation & Culture Advisory Committee

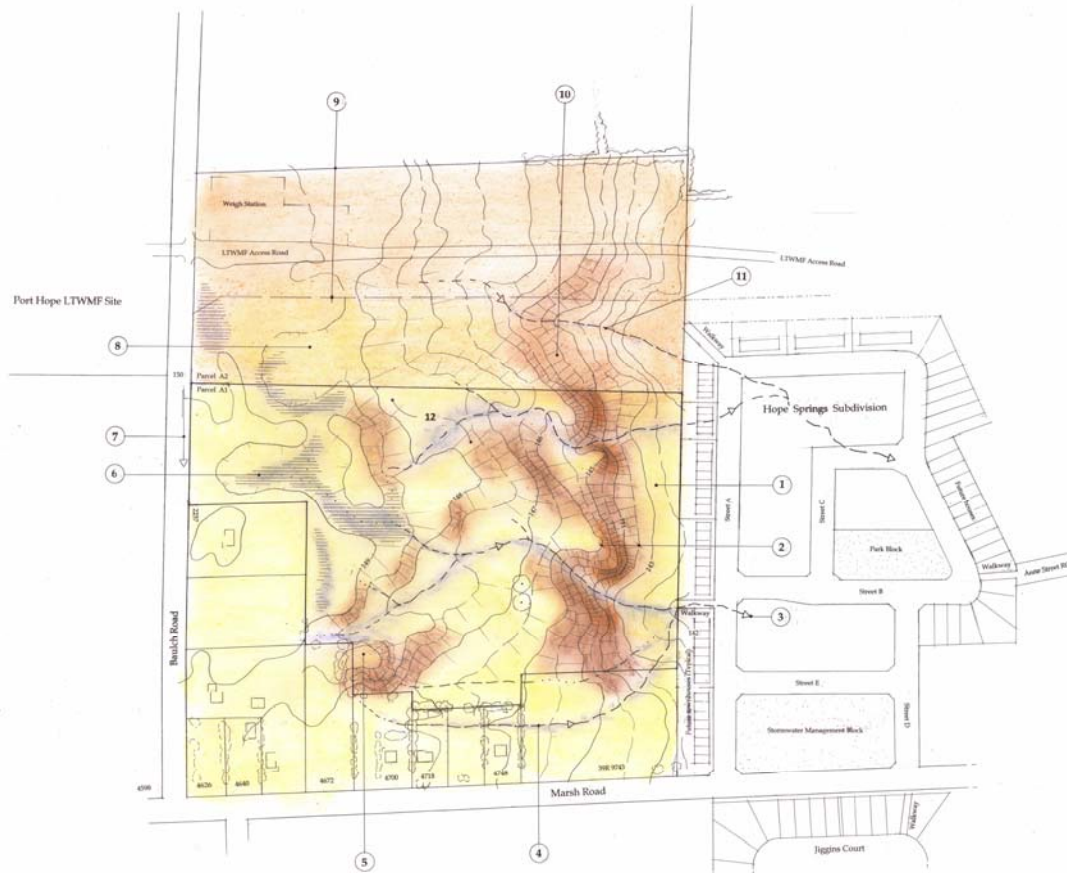
- Discussed pros and cons of clustering like facilities for user efficiency and cost effectiveness
- Ensure final design ties into plans for the Low Level Waste Management Facility (LLWMF) site to the northwest of the site
- Baulch Road site is proposed to be primarily an 'active' recreational park
- Ensure local residents are aware of and able to comment on proposed park development plans

# Abiotic Analysis

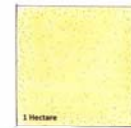


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**BAULCH ROAD PARK**  
 Conceptual Design Phase May 2011

## ABIOTIC ANALYSIS



1. Lower terrace adjacent to Hope Springs Subdivision will need drainage ditch.
2. Even the steepest slopes on site area relatively mild at approximately 7-10%, with 3.5m drop over a distance of 50 metres. This liner slope may be a recession shoreline of a bay in glacial Lake Iroquois.
3. Existing drainage patterns are not well developed. There are no year-round streams, only seasonal drainage swales. Park and subdivision drainage plans will replace existing patterns and conduct runoff to storm water management ponds.
4. The rear yards of some existing residences rely on a shallow swale for drainage.
5. Slight mounding at this site may indicate a former barn site.
6. The upper terrace of the site is very level with local undulations. This creates some wet pockets where surface drainage is trapped.
7. Existing ditch on Baulch Road drains southward.
8. Level to undulating ground plane is similar to the western portion of Parcel A1.
9. The zone of current construction for the Haul Road will be entirely re-graded including ditches and berms.
10. The steeper slopes to the south fan out in the northern area.
11. Existing drainage patterns will be replaced by the Haul Road ditches and sedimentation pond.
12. Soil type is Dundonald Sandy Loam. Sandy loam topsoil over compact calcareous clay subsoil. Upper layers are well drained but lower layers can trap water. Sub-drainage required for the sports fields.



Scale 1:10000 metric

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# Biotic Analysis



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## BIOTIC ANALYSIS

- 1 Black Locust tree saplings are spreading from the hedgerows out into the abandoned farm fields of the site.
- 2 Former cropland and hayfields have been inactive for several years. The land is currently in old field regeneration at the beginning of the shrub stage. Typical ground cover includes wild carrot, goldenrod, redweed, wild strawberries, red clover, forage grasses, witch, and patches of poison ivy. Shrub species include willow, red dogwood, green dogwood, European hollyhock, and black locust seedlings.
- 3 An existing grove of Manitoba maple appears to correspond to the walkway easement for the new subdivision. Tree retention is encouraged where practical.
- 4 These two mature trees (Basswood and Figural hickory) remain from a removed hedgerow. They are in fact in poor shape with broken limbs, crown dieback, and trunk decay. They are hazardous for park use and their central location puts them in conflict with sports field layout. They will be removed and replaced with compensation tree planting.
- 5 Retained farm hedgerows along with more recent landscape plantings offer some habitat value for wildlife as well as privacy for these residences.
- 6 Landscaping and naturally occurring vegetation along the lot boundaries have matured to provide shade, privacy, and some habitat value.
- 7 This grove of Manitoba maples and soft trees may not be prime park species however they do offer shade and visual interest. During the detailed design stage these trees will be assessed and removal work or retention included in the construction contract.
- 8 Wet tolerant shrubs species such as dogwood, willow, and buttonbush are establishing in the damp depressions that are scattered across the west half of the site. They can be salvaged during the site preparation process and transplanted into natural buffer areas along the edges of the site.
- 9 Young mixed forest cover on the adjacent LTWMP site.
- 10 The northern portion of Parcel A2 has been stripped of all vegetative cover during the current construction process. The standard post construction treatment will be topsoil and seed. Tree planting and re-vegetation with habitat species could be a component of follow-up park development.
- 11 This hedgerow offers a natural linkage north of the road corridor and will create a buffer for future land use changes to the northeast.



Scale 1:1000 metric

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# Cultural Analysis



# Cultural Analysis



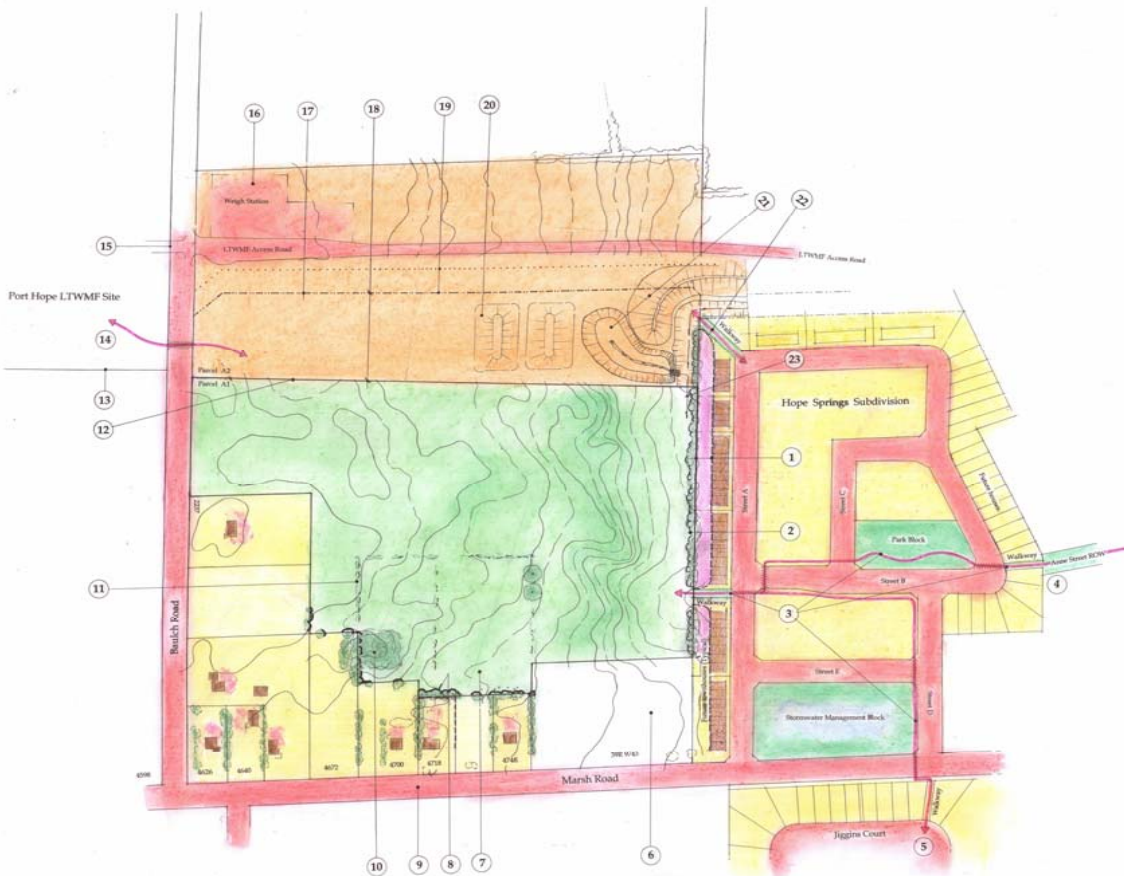
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## CULTURAL ANALYSIS

- Proposed residential development will result in numerous backyards adjacent to the park
- Combination of passive adjacent uses and screening will create a privacy buffer zone
- Pedestrian walkway easements which have been incorporated into recent approved subdivision plans will allow for good connection to the park
- Federated connection to Hope Springs neighbourhood park and Anne Street E.C.M. to Toronto Road
- This existing walkway/corridor could potentially connect the Baulch Road Parkland and the LTWMP site to the downtown and waterfront areas
- This new property, a portion of it, or an easement through it, could connect the park parcel to Marsh Road
- Less than perfect drainage conditions for these lots should be addressed and improved through ditching and grading during park construction
- Existing vegetation will be retained and enhanced for natural buffering between backyards and the park
- Single family homes along Marsh and Baulch Roads all on rural lots with private services
- The grove of trees appears to be associated with boulder piles and an old foundation. Suitable trees will be kept, while the boulders and stones may be removed in the landscaping of the park
- The remains of fences from previous field divisions can be seen from the air photos. More recently the site has been used as one large field. Active farming has not occurred for several years
- This division line separates the B parcel A1, currently available for active park development, from the A2 portion required for the access and completion of the LTWMP
- South property line of the LTWMP
- Approximate proposed location of pedestrian trail as per Conceptual Plans for LTWMP around area
- Eventual public access to the mound and related passive park area
- Weigh station area required for LTWMP operation
- Potential future limit of R.L.H. for the access road
- This portion of Parcel A2 will eventually (c. 10 years) may become available for northward extension of the park
- The potential future limit of right of way might be relocated northwest upon removal or upgrading of the barn with future park developments
- A 300mm diameter (12 inch) sanitary sewer service, and a 300mm diameter (12 inch) municipal water service are being installed during the Baulch Road construction, now underway
- The temporary erosion control pond and screening berm may be regarded as part of the park following completion of the waste transfer process
- Proposed pedestrian connection at northwest corner of Hope Springs subdivision should be integrated into the park's open space trail system
- The drainage from the road construction area must be integrated with park and subdivision drainage plans



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# Preferred Conceptual Layout

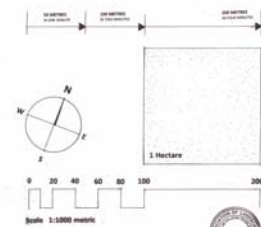


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## PREFERRED OVERALL CONCEPT

### Key Features of the Plan

- 1 Baulch road entrance
- 2 Beginning of storm water drainage system
- 3 Site sign
- 4 Reinforced grass for car parking, about 50 cars
- 5 Bus lay by
- 6 Linear parking shaded by trees, about 60 spaces
- 7 Central parking, fully accessible, 6 spaces
- 8 Sewals for drainage improvements to park and adjacent lots
- 9 Perimeter pathway in crushed stone or asphalt
- 10 Secondary weed sports field
- 11 Sloped seating area
- 12 Premier soccer field, full size
- 13 Quiet picnic grove
- 14 Premier soccer field, full size
- 15 Quiet picnic grove
- 16 Fine lawn area for martial arts, dance, croquet, art displays etc.
- 17 Sewals and constructed wetlands for drainage improvements to park and adjacent lots
- 18 Surface drainage conducted to lowest portion of site
- 19 Pedestrian connection to new subdivision and neighbourhood park
- 20 Grass terrace for informal sports such as catch, Frisbee, tag etc. Could be used for festival display tents or as gathering spots for families, teams, or other groups.
- 21 Reforestation and meadow created on contoured slope
- 22 Natural buffer
- 23 Performance or display space
- 24 Amphitheatre
- 25 Field sport practice area
- 26 Shade structure
- 27 Main circulation road could continue northward through Parcel B (Future Phase). During current phase, it would be constructed as a turnaround.
- 28 Assembly space could be further developed if a field house is built in future phases.
- 29 Future field house and park centre
- 30 Tot lot and playground this phase
- 31 Older kids and teen playground
- 32 Full sized senior handball diamond with lighting and bleachers
- 33 Court games and potential winter skating pad. Could be shaded by solar roof
- 34 Double tiered parking along main access road, potentially 40 spaces.
- 35 Large "flex" area graded and seeded as one plateau. Could be used for two softball diamonds or combination of soccer fields.
- 36 Main road for the LTWVF site will eventually become the main access road for the park and a second entrance in addition to Baulch road
- 37 East overflow event parking, 100 spaces
- 38 West overflow event parking, 40 spaces
- 39 Proposed Right of way limit
- 40 Preferred Right of way limit
- 41 Re-used LTWVF weigh scale area for bus and RV parking
- 42 Possible garage for park maintenance
- 43 Trail connection as per concept for LTWVF site



# Parcel A1 - Phase I Area



A wide-angle photograph of a soccer field. In the foreground, there is a grassy area with some fallen leaves. The middle ground shows a large green field with several white soccer goals. A person is visible on the field near one of the goals. The background is a dense line of trees, including evergreens and deciduous trees with some autumn-colored leaves. The sky is overcast.

# Thank you!

Please provide your comments to  
the Municipality by the  
July 4<sup>th</sup> deadline.