



Residential Dwelling Design Guide

Revised 2019

Municipality of Port Hope

Building Services

5 Mill Street South

Port Hope, ON L1A 2S6

905-885-2431

This guide is for information purposes only.
It is the responsibility of the Applicant/Designer to review the Ontario Building Code
to ensure all information is complete, accurate, and up to date.

A Guide to:

RESIDENTIAL DWELLING BUILDINGS (New Dwellings & Additions)

This document has no legal status and cannot be used as an official interpretation of the various codes and regulations currently in effect. Users are encouraged to contact the Municipality of Port Hope Building Services Division for assistance and information.

Remember to call for location of utilities before you dig



Requirements for Building Permit

URBAN AREA

- *Prior to Building Services involvement or permit application, documented project approval from the Municipal Planning Department is required. Municipal Planners must be contacted at the Development Team Office – 905.885.2431*
- Site plan showing location of building(s) on the property and their distance to the property lines, the height of all proposed structures, and percentage of lot coverage.
- Two sets of construction plans, including specs for heating and ventilation equipment (HRVs, furnace and exhaust fans), engineering (floors, lintels, roof etc.)
- Complete [Building Permit Application](#) accompanied with [Designer Information Form](#) and Energy Efficiency Design Summary ([Performance](#) or [Prescriptive](#))
- Northumberland County approval for septic system, if necessary: 905.372.1929
- Entrance Permit if frontage is on a Municipal road – 905.885.2431
- Entrance Permit and Setback Permit if frontage is on a county road or provincial highway – (County) 905.372.3329 ext. 344 (MTO) 1-800.267.0295 x 4744
- Ganaraska Region Conservation Authority approval if building site is in or near an environmental-constraint area or fill-restricted area – 905.885.8173
- Development Charges as per By-law 54/2014 Schedules “B1” and “B2”, as amended
- Building Permit fees per the Fees and Charges By-law 20/2019 Schedule “D”, as amended
- [Plumbing Permit Application](#) and fees; \$100.00 base fee plus \$15.00 per fixture
- Site Plan Agreement as per fees outlined in the Site Plan Application requires a survey and building location with services
- Building Refundable Deposit of \$3000.00
- Atomic Energy of Canada Limited – Low Level Radioactive Waste Management Office for Inspection of soil 905.885.9488

**Other fees may be applicable.
Please refer to By-law 20/2019 Schedule “D”**

Requirements for Building Permit

RURAL AREA

- ❑ ***Prior to Building Services involvement or permit application, documented project approval from the Municipal Planning Department is required. Municipal Planners must be contacted at the Development Team Office – 905.885.2431***
- ❑ Site plan showing location of building(s) on the property and their distance to the property lines, the height of all proposed structures, and percentage of lot coverage.
- ❑ Two sets of construction plans, including specs for heating and ventilation equipment (HRVs, furnace and exhaust fans), engineering (floors, lintels, roof etc.)
- ❑ Complete [Building Permit Application](#) accompanied with [Designer Information Form](#) and Energy Efficiency Design Summary ([Performance](#) or [Prescriptive](#))
- ❑ Northumberland County approval for septic system, if necessary – 905.372.1929
- ❑ Entrance Permit if frontage is on a Municipal road – 905.885.2431
- ❑ Entrance permit and setback permit if frontage is on a County road or Provincial highway – (County) 905.372.3329 ext. 344 (MTO) 1-800.267.0295 x 4744
- ❑ Ganaraska Region Conservation Authority approval if building site is in or near an environmental-constraint area or fill-restricted area – 905.885.8173
- ❑ Copy of deed may be required
- ❑ CSA approval for manufactured homes
- ❑ Requirements of subdivision agreements for River Park, Woodlands and Briarwood
- ❑ Development Charges as per By-law 54/2014 Schedules “B1” and “B2”, as amended
- ❑ Building Permit fees per the Fees and Charges By-law 20/2019 Schedule “D”, as amended
- ❑ [Plumbing Permit Application](#) and fees; \$100.00 base fee plus \$15.00 per fixture
- ❑ Site Plan Agreement as per fees outlined in the Site Plan Application requires a survey and building location with services
- ❑ Building Refundable Deposit of \$3000.00
- ❑ Municipal number includes sign, post, and installation - \$75.00
- ❑ Survey with elevations may be required

**Other fees may be applicable.
Please refer to By-law 20/2019 Schedule “D”**

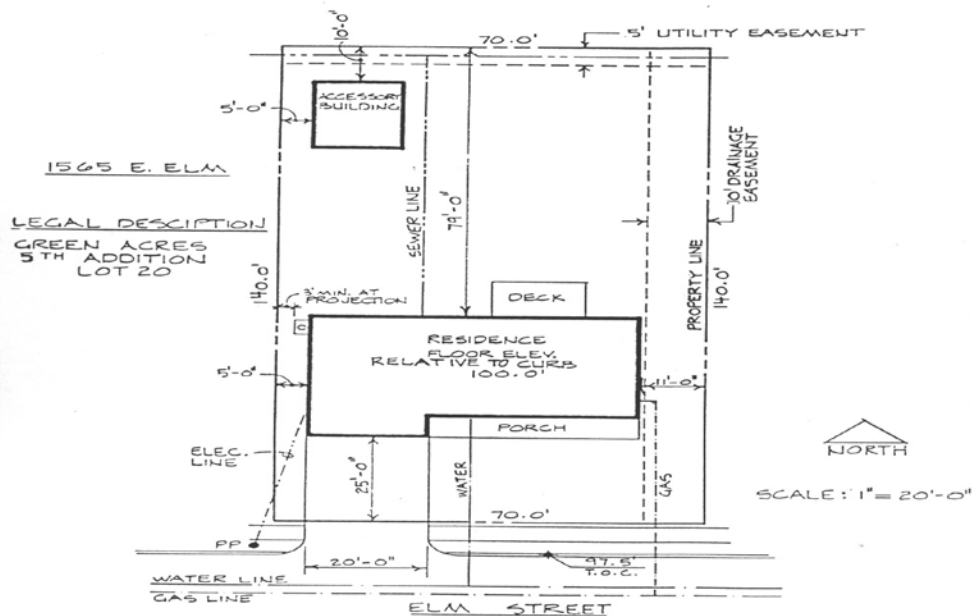
Drawing Examples

Site Plan Drawings

A **site plan** identifies buildings and other features in relation to property boundaries. It must identify existing buildings and structures on the property, and the proposed changes created by your project application.

Most or all of the information required for a **site plan** can be found on your property survey. Surveys may be obtained from the Land Registry Office, 1005 Elgin Street West, Cobourg – 905.372.3813. If a survey is not available, accurate site dimensions must be obtained for the **site plan** drawing.

SITE PLAN ILLUSTRATION



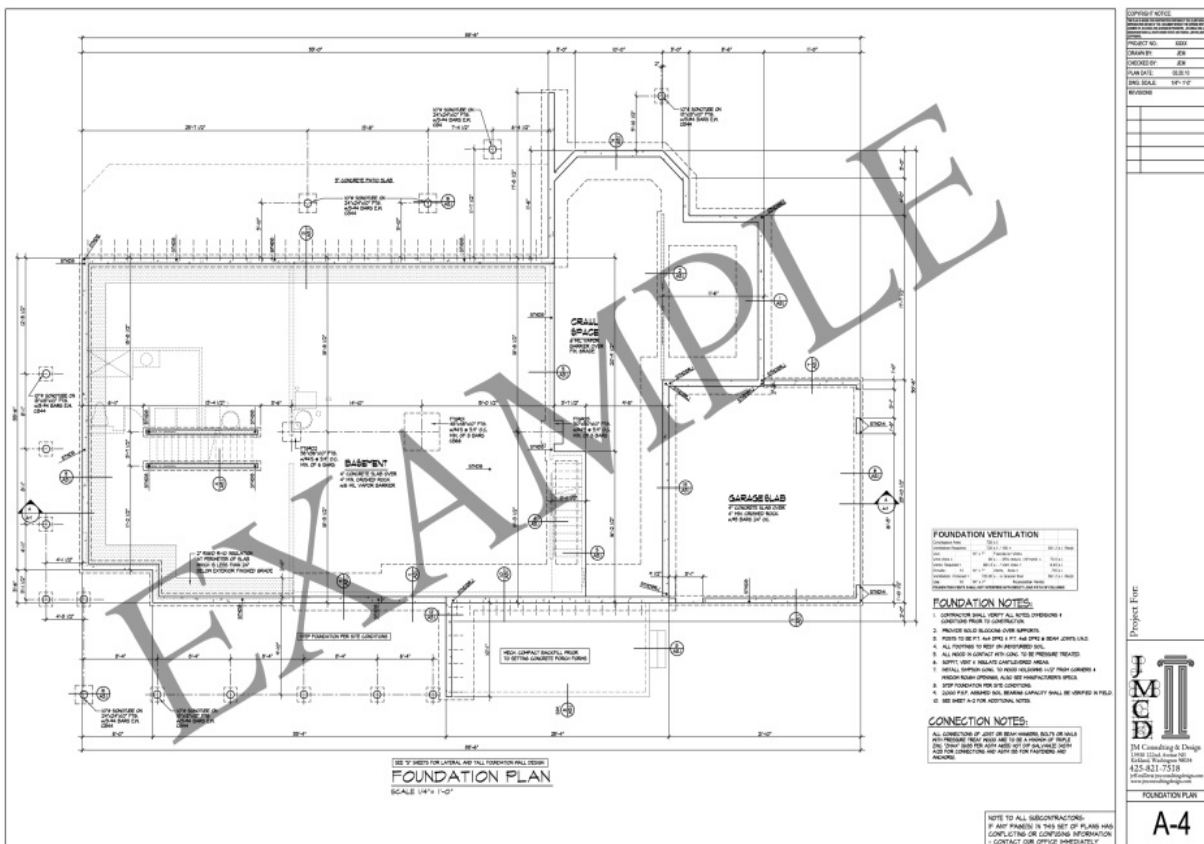
Minimum information requirements for **Site Plan Drawings** include, but are not limited to, the following details:

- Title, scale and North directional arrow
- Street name, address, and legal description
- Abutting streets and lanes
- Property lines and dimensions
- Driveway location and Dimensions
- Existing buildings and structures (indicating use, shape, size, and dimensions)
- Any buildings or structures to be removed (*if applicable*)
- Proposed construction (indicating use, shape, size, and dimensions)
- Setbacks to all property lines from existing and proposed structure(s)
- Separation distances between all buildings and structures
- Well location (*if applicable*)
- Septic field (*if applicable*)
- Right-of-way and easements

Foundation Plan Drawings

Please Note: A Legal Land Survey completed by a Licensed Land Surveyor or Professional Engineer may be required for new homes, and shall indicate Drainage Courses and Elevations.

Foundation Plan Drawings show the foundation type and dimension. Include the details of basement finishing, where applicable. If the **foundation** is a slab on grade, or is non-standard construction, you must submit a stamped, professionally engineered design.

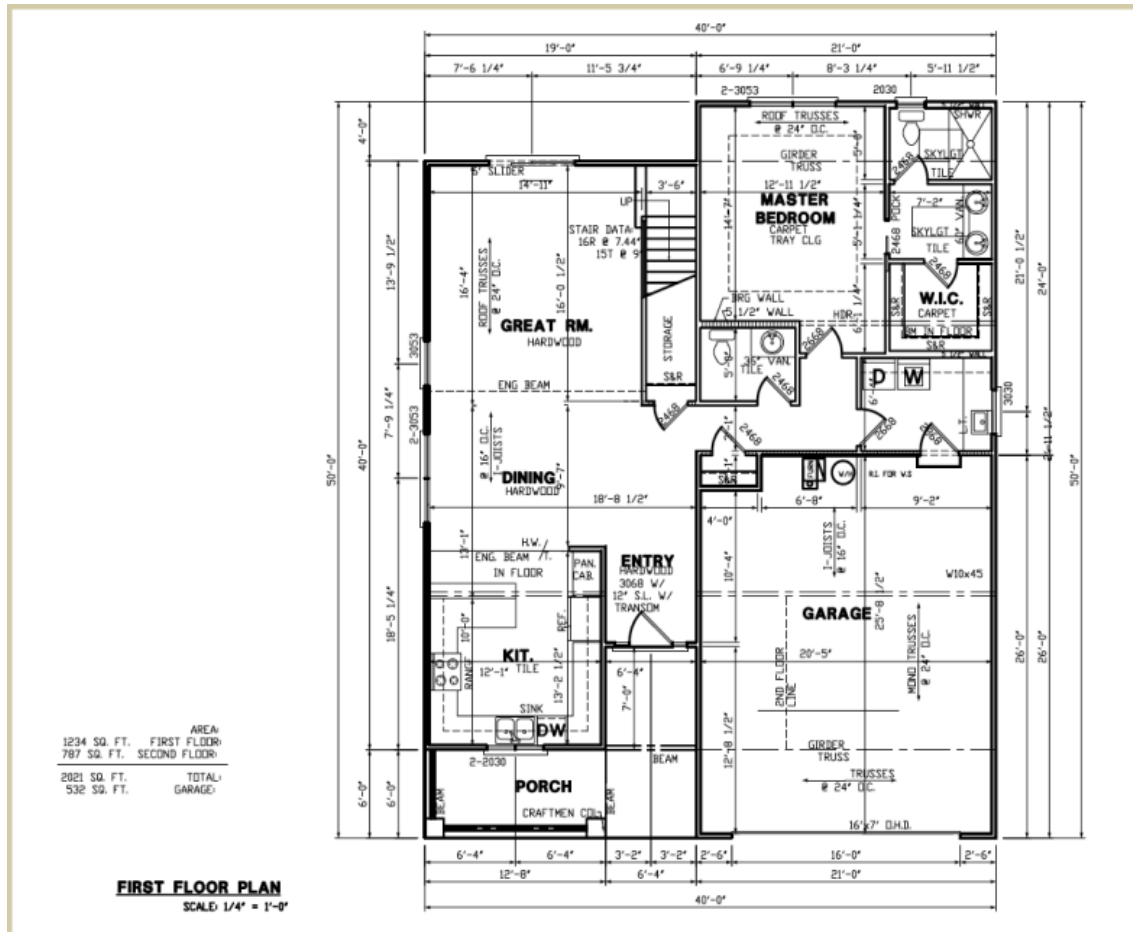


Minimum information requirements for **Foundation Plan Drawings** include, but are not limited to, the following details:

- Title block including project location, Designer with BCIN, and scale
- Exterior walls
- Interior partitions
- Exterior dimensions
- Door locations and sizes
- Window locations and sizes
- Room sizes and names
- Structural members and lintels including sizes, materials, and lengths
- Smoke alarms/CO detectors
- Plumbing fixtures & bathroom fans
- Cross-sectional symbol
- Fireplace/woodstove location(s)
- Information on existing attached structures
- Interior column pads
- Sump pit and pump
- Perimeter weeping tile
- Interior dimensions
- Heating appliances

Floor Plan Drawings

Floor Plan Drawings provide a “bird’s eye view” of the different floor levels of your project. They show scaled dimensions of the project, including rooms, spaces, and other features. The size, direction, and spacing of structural members (*joists, beams etc.*) must be provided. If floor trusses are used, additional information will be required (*i.e. engineered drawings, along with a floor truss certificate*)

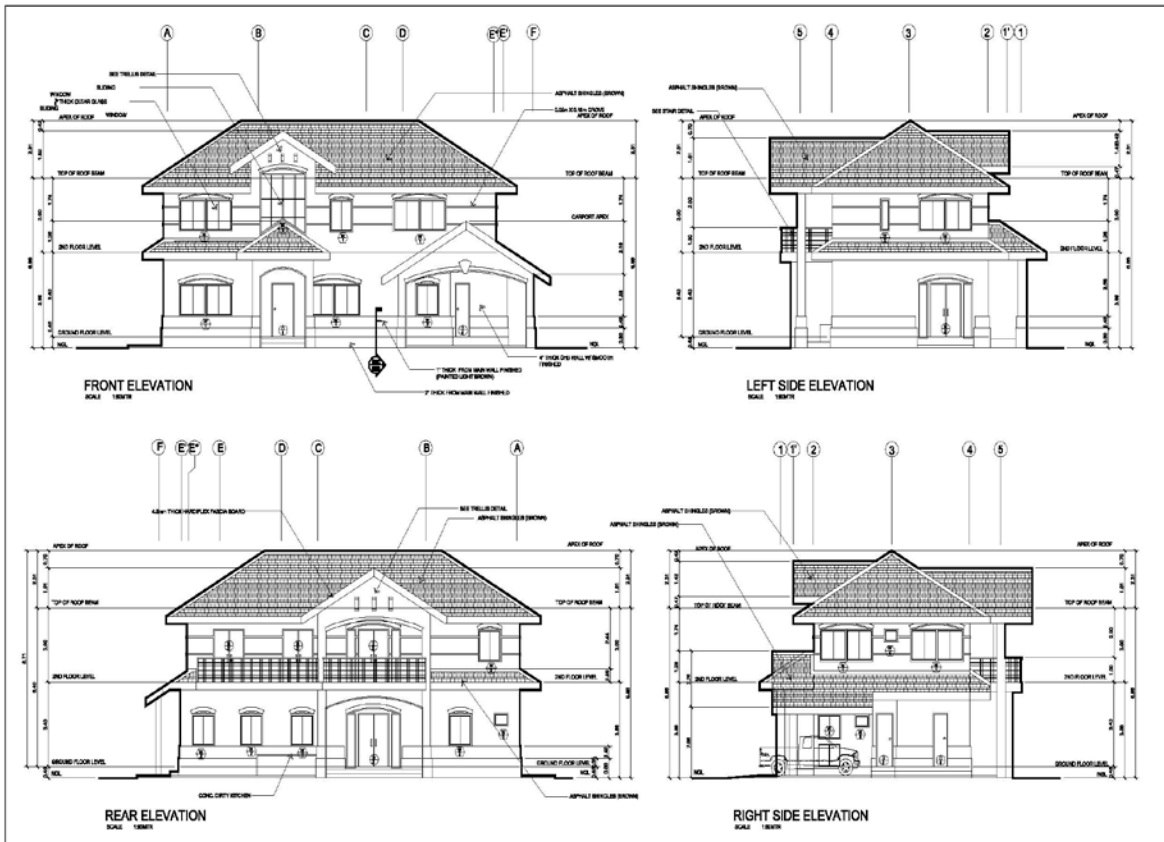


Minimum information requirements for **Floor Plan Drawings** include, but are not limited to, the following details:

- Title block including project location, Designer with BCIN, and scale
- Exterior walls
- Interior partitions
- Interior dimensions
- Exterior dimensions
- Door locations and sizes
- Window location and sizes
- Room sizes and names
- Structural members and lintels, including sizes, material, and lengths
- Smoke alarms/CO detectors
- Plumbing fixtures and bathroom fans
- Heating appliances
- Cross-section symbol
- Fireplace/woodstove location(s)
- Information on existing attached structures

Building Elevations

Building Elevation Drawings show the exterior views of a building for each building face. The drawings indicate the highest relationship and exterior finish information. For additions, the relationship between the existing and the proposed building must be illustrated. A **building elevation drawing** must be provided for each building face.

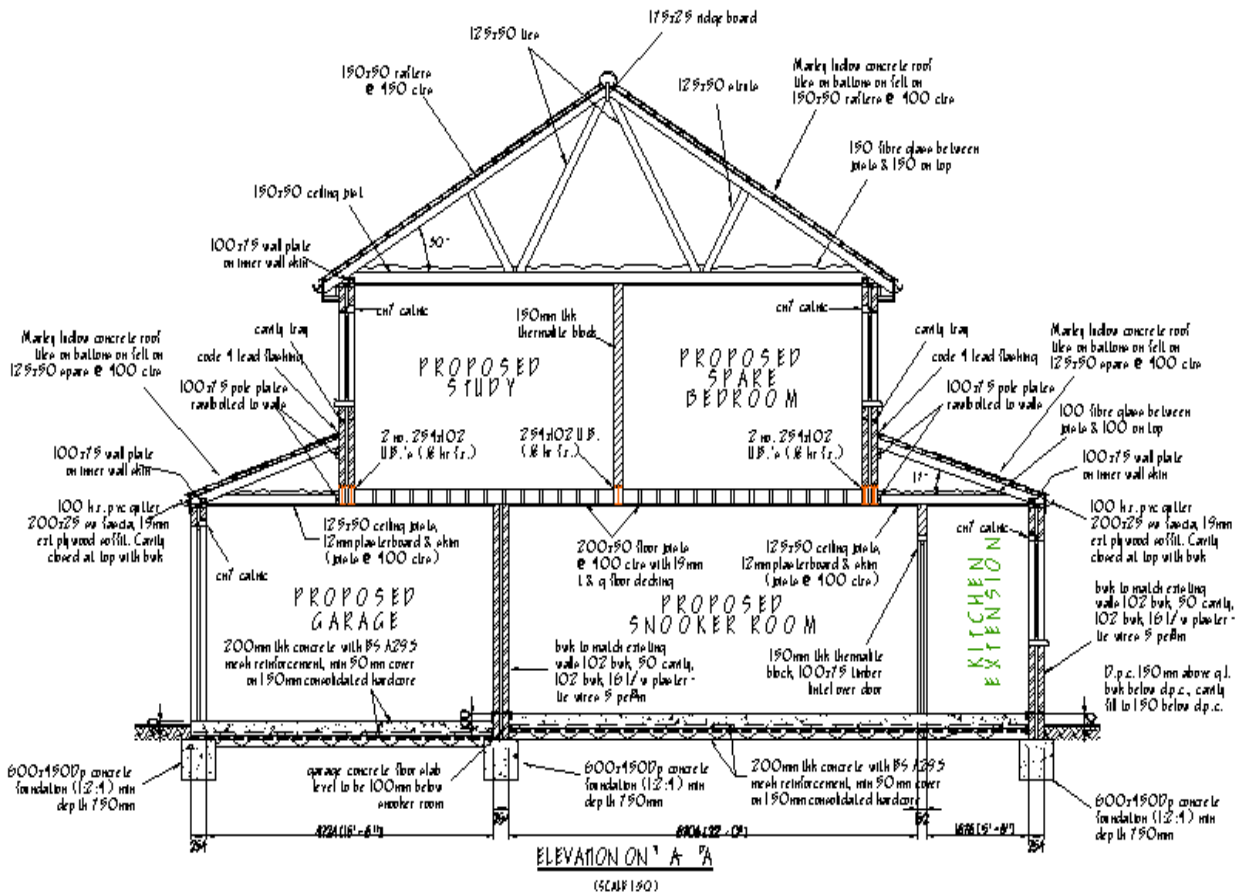


Minimum information requirements for **Building Elevation Drawings** include, but are not limited to, the following details:

- Title block including project location, Designer with BCIN, and scale
- Exterior building components (*wall, roof, floors, foundation, etc.*)
- Finished grade reference to site plan
- Exterior finishes and materials
- Top of top plate elevation
- Top of floor sheathing elevation
- Top of finish grade elevation
- Height dimensions
- Attachment/relationship to existing building (*where applicable*)
- Roof slope
- Exterior stairs, patio/deck, guards, and handrails
- Roof venting
- Window type(s)

Building Section Drawings

Building Section Drawings show a view along an imaginary line cut through the building, showing its structural and construction elements. The **section drawing** exposes and identifies construction elements of the roof, walls, floor, and foundation.



Minimum information requirements for **Building Section Drawings** include, but are not limited to, the following details:

- Title block including project location, Designer with BCIN, and scale
- Building components (*walls, roof, floor foundation, etc.*)
- Bottom of footing elevation
- Height dimensions
- Attachment/relationship to existing building (*where applicable*)
- Size and type of materials
- Roof slope/pitch
- Room names

THE APPROVAL PROCESS

Subject to the complexity of your project, your application may be reviewed in three stages:

- 1) Planning staff **will** check for compliance with the regulations and provisions of the [Zoning By-law](#) such as proposed use, minimum setback requirements, lot coverage and building height, etc.
- 2) Engineering staff **will** review the project for compliance with lot grading and servicing requirements.
- 3) Building staff **will** review the proposed construction to ensure compliance with the [Ontario Building Code](#).

Please Note: All excavations in the Urban Area require completion of a Consent Form from the Canadian Nuclear Laboratories Construction Monitoring Program. For inquiries contact 905.885.9488

If during review the plans examiner identifies deficiencies on the drawing or requires additional information, the designer and/or applicant will be notified.

Please ensure the necessary information is submitted promptly, subject to the type of deficiency no further processing of your application may occur until the information is received.

When review of the application is completed and all requirements have been met, the Building Permit will be made available and the applicant will be notified.

IMPORTANT NOTES:

It is unlawful to start construction without the necessary permits. If you start construction without the necessary permits, you may be “Ordered to Stop Work”, “Ordered To Remove All Structures” and/or “Ordered To Uncover” work already done, and/or prosecuted. **THE PERMIT FEE MAY BE DOUBLED.**

Once you have received your permit. Ensure that the permit and approved drawings are available on the construction site.

You must call for inspection at identified steps of construction - this will be reviewed with applicant at the time of Building Permit issuance.

Inspections

Construction may commence upon issuance of the Building Permit. Several inspections are required to ensure that all work is done according to the approved plans including changes noted by the plans examiner. You will be issued a list of the required inspections for your project.

It is your responsibility to ensure that either you or your contractor contacts the Building Services Division to request an inspection at least **48 hours** before work proceeds from one inspection stage to the next.

Failure to have inspections performed may result in having to **uncover and expose work for inspection.** For inspection call 905.885.2431.

New Building Code Updates 2018:

- Drain Water Heat Recovery
- Electric Vehicle Charging Stations

Please contact the Building Services Division for additional updates or changes to Ontario Building Code that could affect your building project.