

## STANDARD DETAILS

THESE DRAWINGS ILLUSTRATE SOME OF THE MINIMUM ONTARIO BUILDING CODE REQUIREMENTS WHICH APPLY TO RESIDENTIAL CONSTRUCTION IN ONTARIO, AND ARE PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY. THE DETAILS PROVIDED ARE NOT MEANT AS LEGAL OR TECHNICAL ADVICE AND IT SHOULD NOT BE RELIED UPON AS SUCH. THEY DO NOT NECESSARILY REPRESENT EVERY DETAIL OF BUILDING CONSTRUCTION, OR ALL MINIMUM STANDARDS WHICH MAY APPLY. FOR MORE DETAILED INFORMATION ABOUT CONSTRUCTION REGULATIONS REFER TO THE ONTARIO BUILDING CODE, YOUR MUNICIPAL BUILDING DEPARTMENT, OR A QUALIFIED DESIGNER.

## CLIMATIC DESIGN REQUIREMENTS

THESE DETAILS APPLY TO ZONE 1 NON-ELECTRIC SPACE HEATING ONLY. AREAS OUTSIDE GREATER TORONTO MAY BE SUBJECT TO DIFFERENT CLIMATIC CONDITIONS WHICH MAY SIGNIFICANTLY AFFECT CONSTRUCTION REQUIREMENTS. THE CLIMATIC DESIGN DATA WHICH APPLIES TO THE SPECIFIC BUILDING LOCATION SHOULD BE CONFIRMED BEFORE ADOPTING ANY OF THE DETAILS IN A PROPOSED DESIGN. CLIMATIC DESIGN INFORMATION MAY BE FOUND IN THE SUPPLEMENTARY STANDARD SB-1 OF THE ONTARIO BUILDING CODE.

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### **Energy Efficiency Compliance: SB-12: Zone 1 - Package A2**

**Note:** Under the Building Code Act, the local municipality is the authority having jurisdiction for enforcing the act and its regulations. It is the responsibility of the owner/designer to ensure that all designs submitted for a permit are in accordance with the Building Code Act, Building Code and any other Applicable Law.

BUILDING PERMITS MUST BE OBTAINED BEFORE YOU START WORK ON A NEW HOUSE, AN ADDITION, OR ANY ALTERATIONS TO AN EXISTING HOUSE WHICH ARE SIGNIFICANT IN NATURE. PERMITS ARE GEARED TO THOSE PROJECTS WHERE HEALTH & SAFETY MATTERS ARE INVOLVED, AND EXIST TO PROTECT YOU, OTHER HOMEOWNERS, BUILDING OCCUPANTS, FUTURE OWNERS AND THE COMMUNITY.

## WHEN DO I NEED A PERMIT ?

**CONTACT YOUR LOCAL MUNICIPAL OFFICE FOR SPECIFIC PERMIT REQUIREMENTS FOR ANY PARTICULAR PROJECT.**

### PERMITS ARE NORMALLY REQUIRED FOR:

Building any detached structure larger than 10m<sup>2</sup>  
Building any addition to your home  
Raised porches or decks  
Carpports or garages  
Structural alterations  
Moving or lifting your house  
Installing a wood stove or fireplace  
Partitioning a basement or adding a basement entrance  
Creating an apartment or secondary suite in your house  
Altering or adding any plumbing  
Demolishing a house

### PERMITS ARE NOT NORMALLY REQUIRED FOR:

Replacement of windows, doors, roofing or siding  
New interior wall, floor or ceiling finishes  
Repairs to chimneys, porches, decks or roofs  
Waterproofing repairs to a basement  
Replacement of plumbing fixtures  
Replacement of a furnace  
Storage shed with area of 15m<sup>2</sup> or less

## HOW DO I GET THE PERMIT ?

1. Prepare drawings which accurately and to scale describe the construction you propose. Standard technical details are available at your local municipal office to assist in the preparation of your plans. The attached sample plans are an example of the scope of drawings usually required for an addition to a house. **THESE DRAWINGS ARE NOT INTENDED FOR USE IN YOUR PERMIT APPLICATION.** If you have someone else prepare your plans, ensure the designer has the appropriate qualifications required in the building code. It is usually advisable to verify with your local municipal office that your proposed site plan will meet local zoning standards before you prepare the complete construction plans.
2. Visit the website or the office of your local municipality, and complete a building permit application.
3. Provide the required construction drawings, including a site plan.
4. Pay the permit fee.
5. If the approval of other agencies such as the Conservation Authority applies to your application, contact the agency and apply for approval. Your local municipality can advise you if any outside agency approvals apply to your application.

## WHEN WILL I GET THE PERMIT ?

Your permit will usually be issued within 10 to 15 business days if your drawings are complete and the proposed construction meets local zoning standards and the Ontario Building Code. If the approval of other agencies is required due to the location of your construction, such as the Conservation Authority, the permit may be delayed.

## WHAT DO I HAVE TO DO AFTER I GET THE PERMIT ?

Review your approved permit drawings before you start work, and keep them on the project site at all times. Make working copies if necessary. The permit must be posted in a conspicuous place on your property prior to starting work. You can commence construction any time after obtaining the permit and your permit will remain valid for a minimum of six months. Local utilities such as hydro, gas and telephone operate independently from your municipality and should be contacted regarding their specific approval and inspection requirements. All utilities must be contacted prior to commencing any excavation to determine the location of any nearby underground services.

Inspection requirements are normally noted on your permit drawings or the permit itself and must be arranged by contacting the municipal building inspection office prior to covering the work. For a house addition, an inspection is usually required for footings & foundations, structural framing, plumbing, heating, insulation & vapour barriers and final inspections before using the new space. Smaller projects such as decks, garages and minor alterations will usually involve fewer inspections.

If changes to the approved work are anticipated, speak with the inspector to determine if a revision to your permit is required.

PLEASE REMEMBER TO WORK SAFELY!

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A small housing addition will usually require the submission of the following drawings. All drawings must be accurately drawn to scale. If the drawings are prepared by someone other than the owner, the designer must have the qualifications specified in the building code.

## SITE PLAN

A SITE PLAN is a drawing showing the complete property and identifying all structures in relation to the property boundaries. A property survey is commonly used as a template for developing the site plan. the site plan include:

- Scale
- North arrow
- Street location & name
- Lot lines & dimensions to all buildings
- Existing & proposed buildings
- proposed changes to existing grade

## FLOOR PLANS

A FLOOR PLAN is a drawing of the structure as seen as if it is cut horizontally a few feet above the floor line. One floor plan is required for every floor of the house which is affected by the new construction. Each plan shows the interior layout of the level in question as well as providing the structural framing information for the floor or roof above. floor plans should include:

- Scale
- Use of rooms & spaces
- Dimensions
- Extent of new construction including new work within existing building
- Size, type and location of exterior and interior walls and partitions
- Widths, locations and lintel sizes of all openings
- Location, dimensions and direction of stairs
- References to detailed drawings
- Material specifications or notes
- Heating and ventilation details
- Location of smoke alarms and carbon monoxide detectors

## ELEVATIONS

ELEVATIONS show the exterior view of each side of the house. Each elevation is identified by the direction it is facing, and should include:

- Scale
- Use of rooms & spaces
- Dimensions
- Extent of new & existing construction
- Dimensions of walls, windows & doors
- Grade level
- Exterior wall cladding, finishes & flashing
- Overhang dimensions
- Roof shape, slope & finish
- Rain water leader & eavestrough

## SECTIONS and DETAILS

A SECTION represents a view of the house along an imaginary line at a particular location, & illustrates construction details. The extent of the section should correspond with the sectional arrow shown on the plans. Sections should indicate the following:

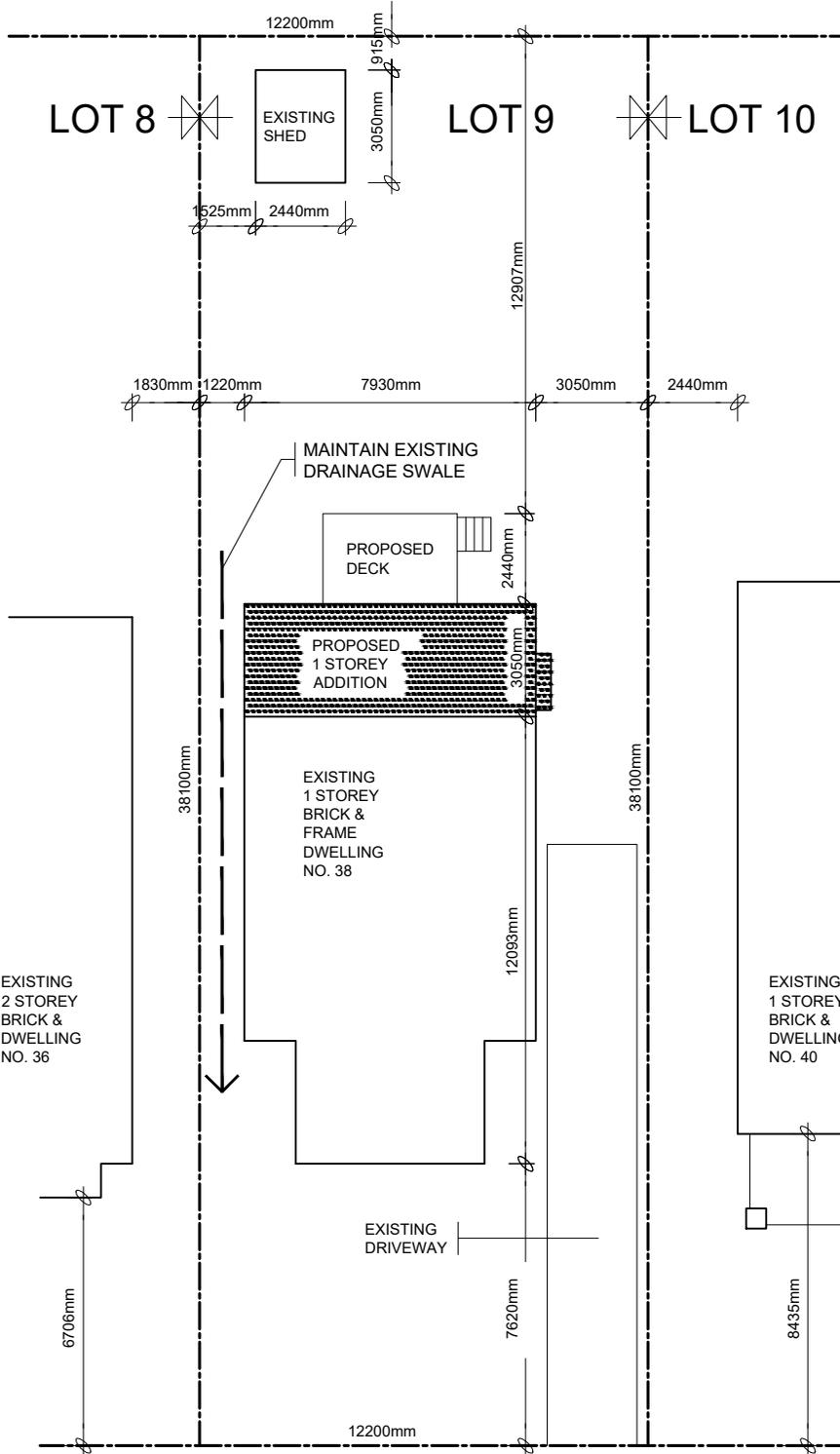
- Scale
- Details of footings, foundations, walls, floors & the roof
- Distance from grade to floor & underside of footing
- Attic & crawl space ventilation

Some aspects of the project may require some specific details, such as engineered roof truss drawings. An inventory of standard construction details is available from your local municipal office, which can be used to augment your plans.

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### SITE PLAN

SCALE 1:200

SKETCH OF SURVEY OF  
 LOT 9  
 REG.'D PLAN 4220  
 CITY OF TORONTO  
 B.C. TRANSIT. O.L.S.  
 DECEMBER 31ST, 2024

## KHALMUR CRESCENT

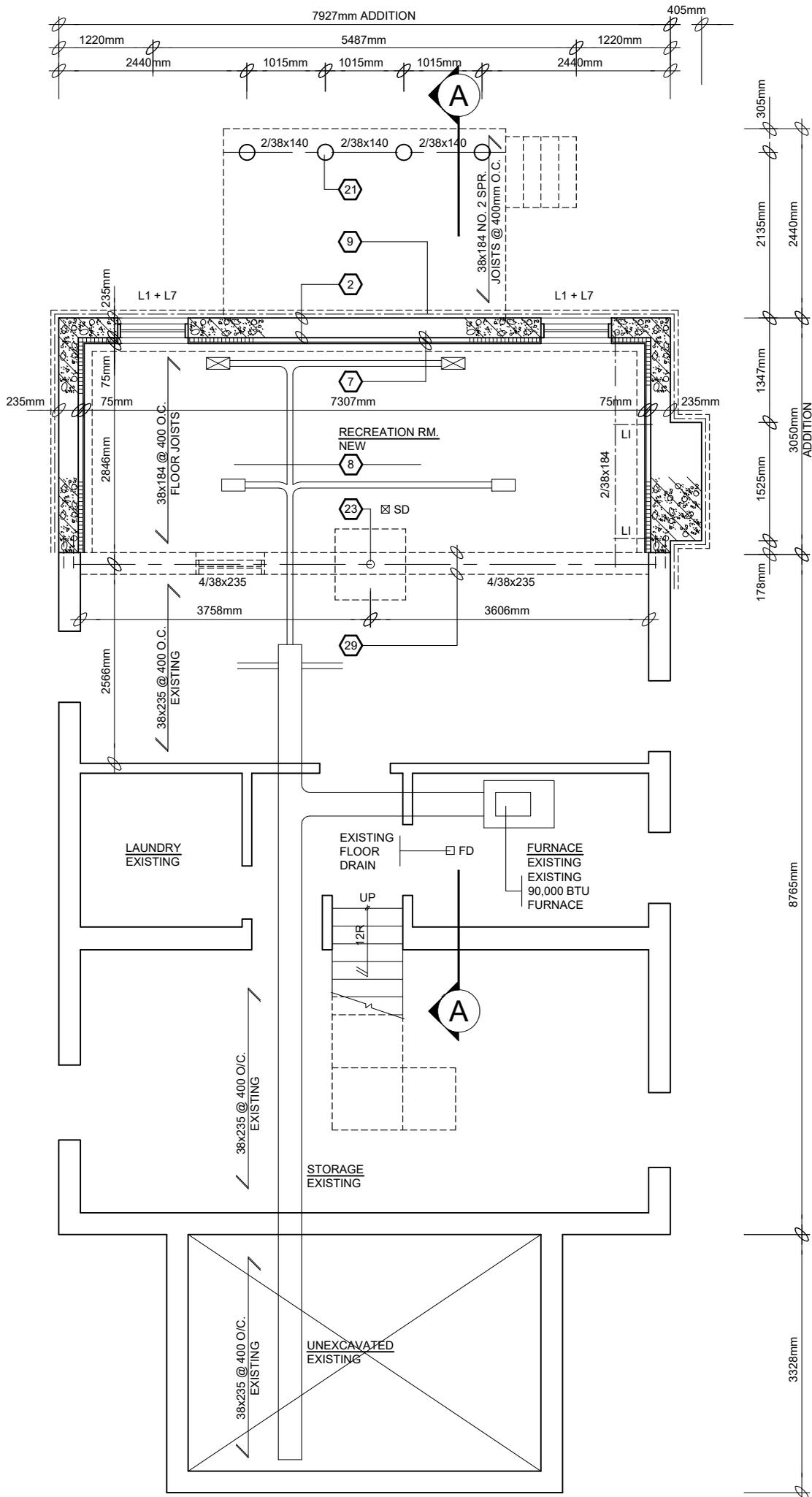
ZONING	LOT NO:		PLAN NO:	LOT AREA:		LOT FRONTAGE		LOT DEPTH	
R2 Z0.6	LOT 9		4220	580.64m <sup>2</sup>		12200mm		38110mm	
DESCRIPTION	EXISTING	ADDITION	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	PROPOSED
LOT COVERAGE	86.52m <sup>2</sup>	24.15m <sup>2</sup>	110.65m <sup>2</sup>	19.0	-----		FRONT YARD	7620mm	7620mm
GROSS FLOOR AREA	86.52m <sup>2</sup>	24.15m <sup>2</sup>	110.65m <sup>2</sup>	19.0	348.39m <sup>2</sup>	60.0	REAR YARD	18390mm	12907mm
LANDSCAPED AREA	-----	-----	-----		-----		INTERIOR SIDE (east)	3050mm	3050mm
NO. OF STORIES	1 STOREY	1 STOREY	1 STOREY				INTERIOR SIDE (west)	1220mm	1220mm
HEIGHT	4550mm	4550mm	4550mm		10000mm		EXTERIOR	-----	-----
WIDTH	7930mm	7930mm	7930mm		-----				
DEPTH	12093mm	3050mm	15143mm		17000mm				
PARKING	-----	-----	-----		-----				

NOTE: ZONING RESTRICTIONS VARY IN EVERY MUNICIPALITY. CONTACT YOUR LOCAL MUNICIPAL OFFICE FOR SPECIFIC SETBACKS AND OTHER LIMITATIONS IN YOUR AREA.

### Energy Efficiency Compliance: SB-12: SB-12 Table 3.1.1.11. Zone 1

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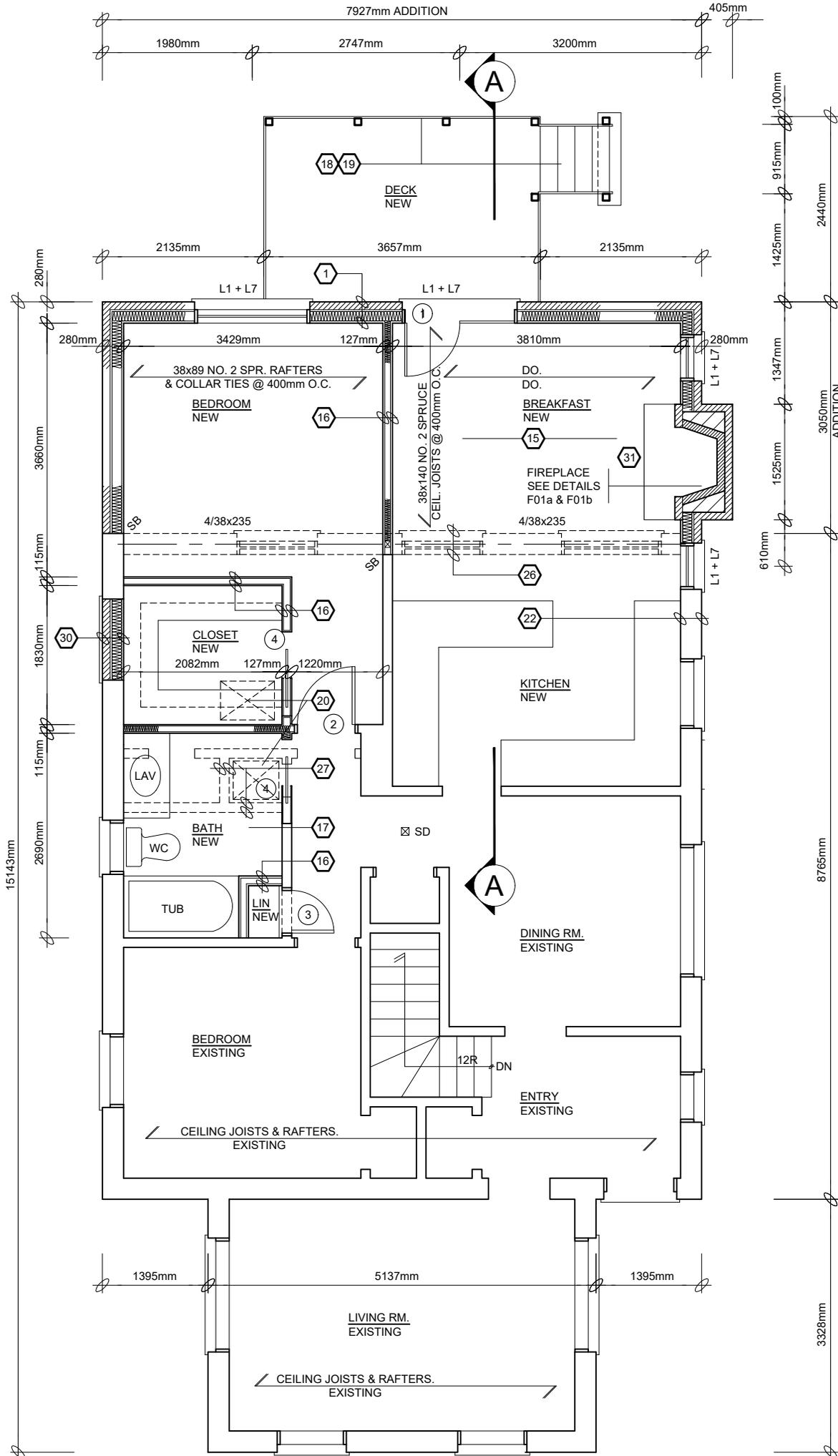
**BASEMENT PLAN**

SCALE 1:50

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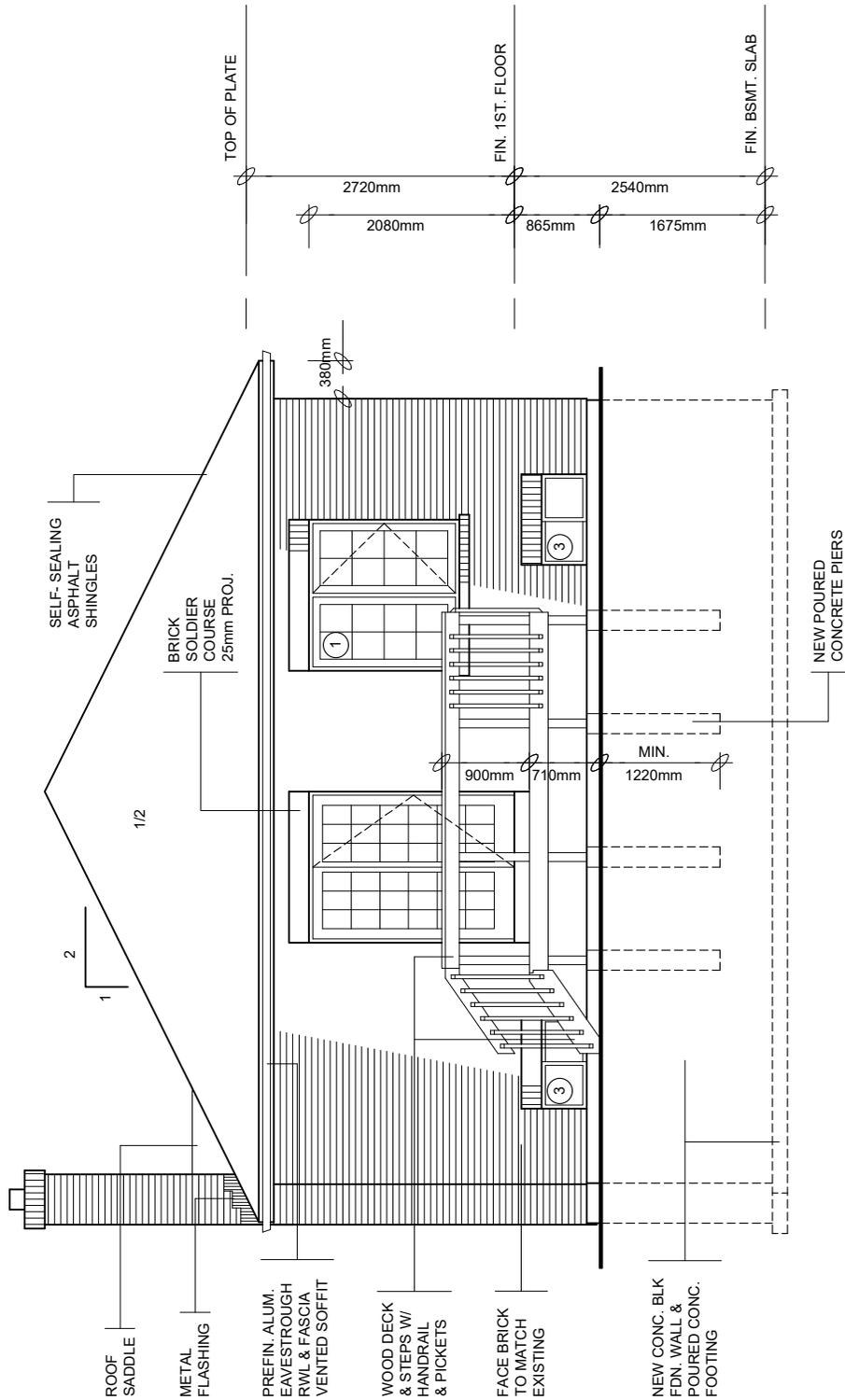
**GROUND FLOOR PLAN**

SCALE 1:50

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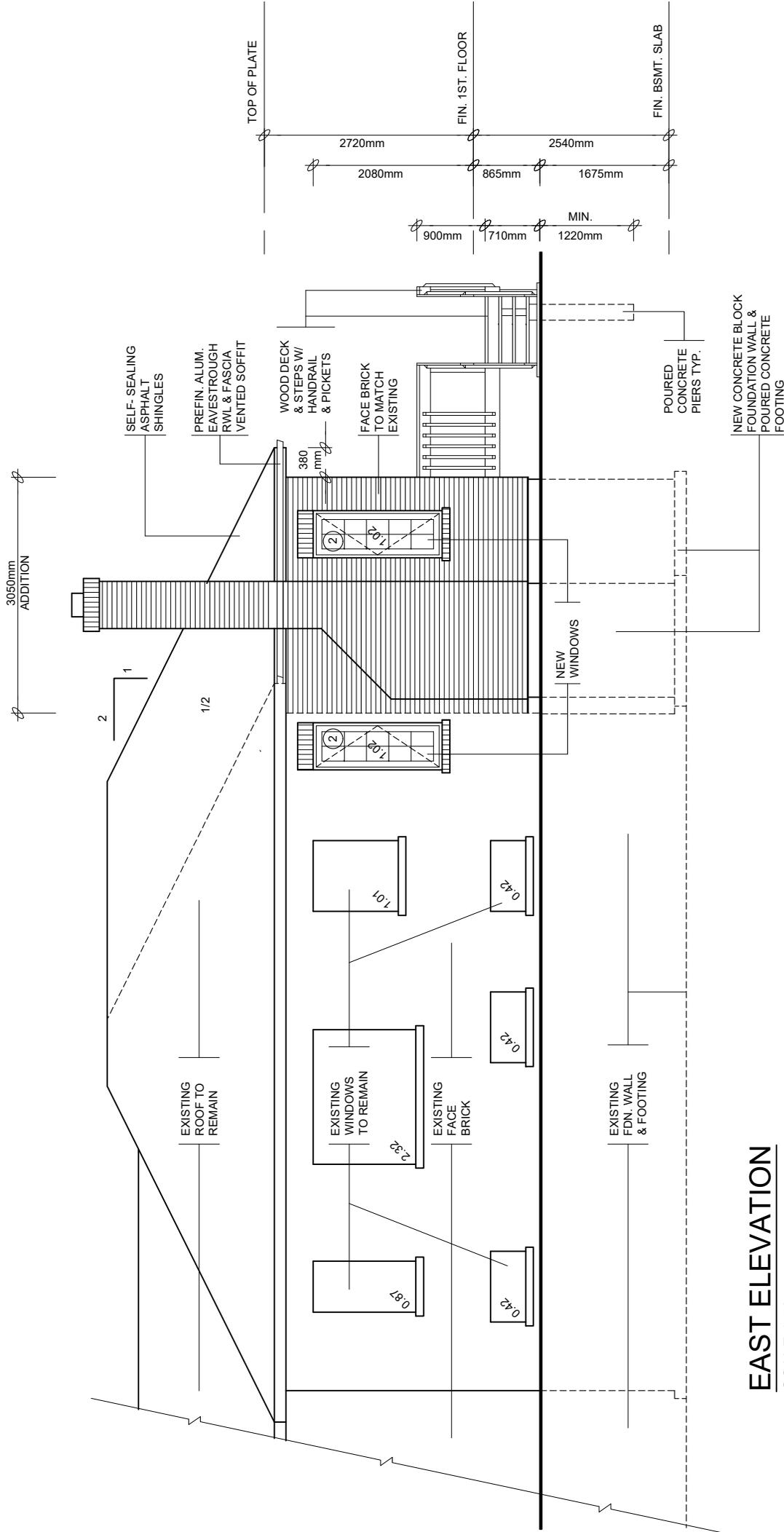


**NORTH ELEVATION**  
SCALE 1:50

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**EAST ELEVATION**

SCALE 1:50

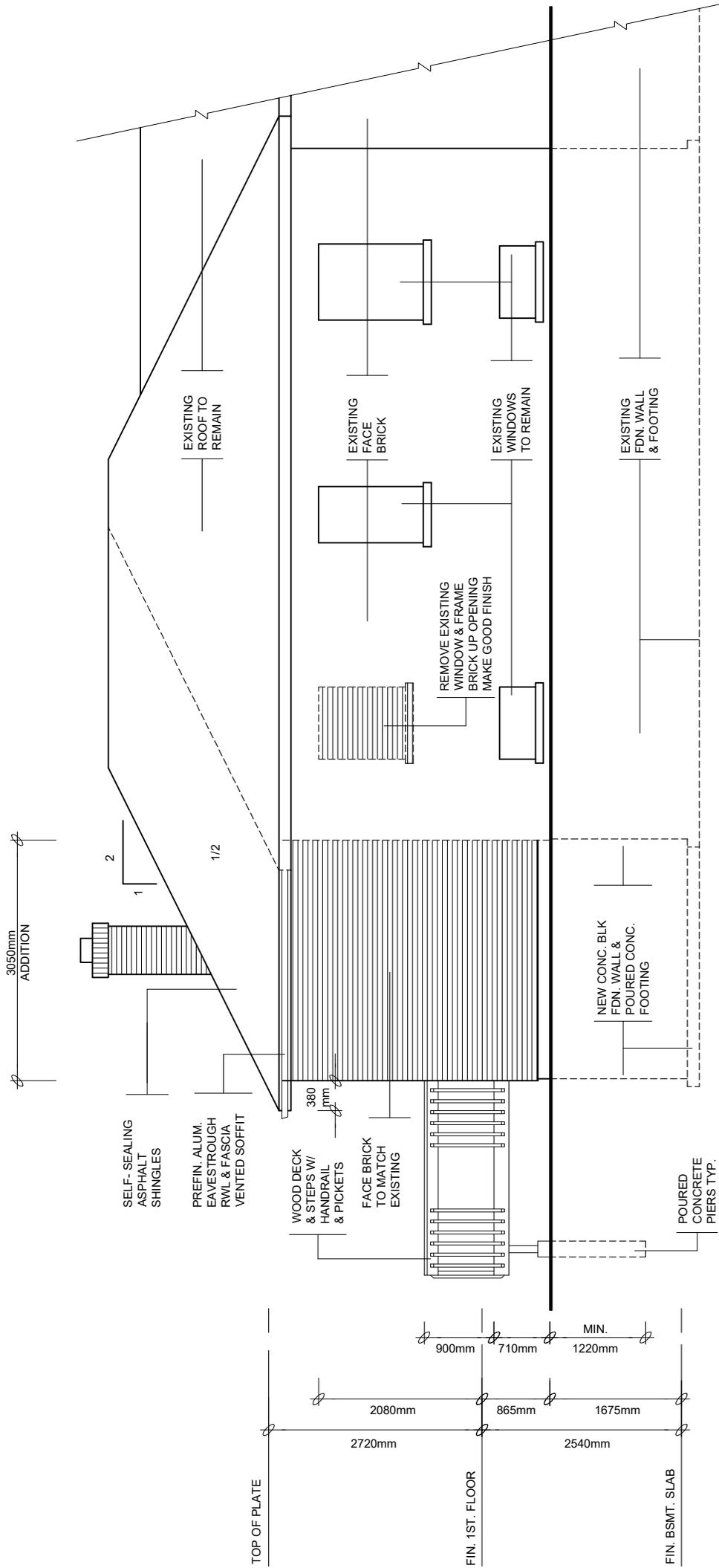
**UNPROTECTED OPENINGS**

WALL AREA	42.36m <sup>2</sup>
LIMITING DISTANCE	3050mm @ 18.00%
MAX. ALLOWABLE OPENINGS	7.62m <sup>2</sup>
TOTAL OPENINGS PROVIDED	7.50m <sup>2</sup>

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**WEST ELEVATION**

SCALE 1:50

**UNPROTECTED OPENINGS**

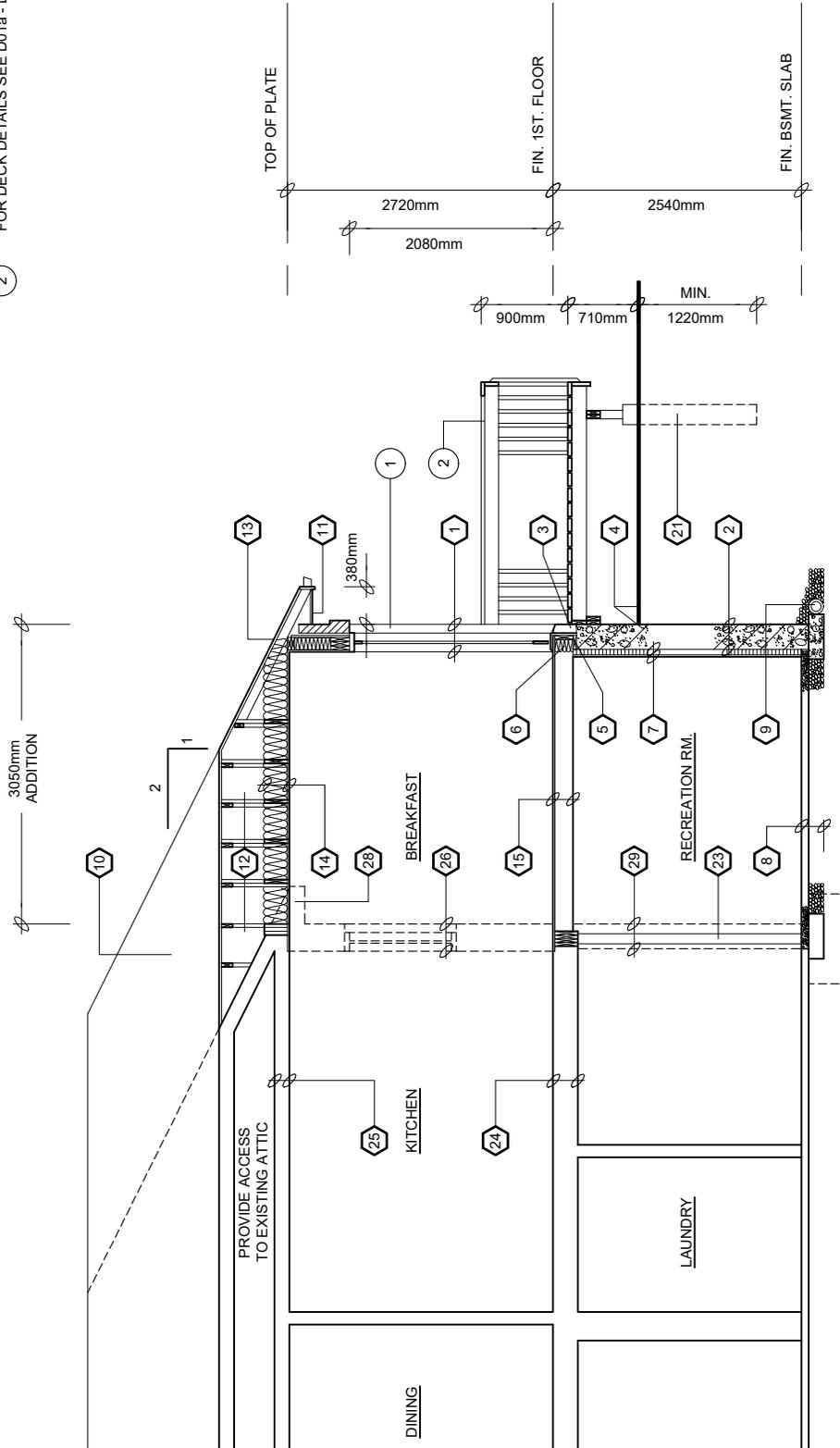
NO NEW OPENINGS  
EXISTING TO REMAIN

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- 1 FOR WALL SECTION SEE W02
- 2 FOR DECK DETAILS SEE D01a - D01d



**SECTION A-A**  
SCALE 1:50

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## CONSTRUCTION SPECIFICATIONS

### 1 BRICK VENEER WALL

90mm FACE BRICK, 25mm AIR SPACE  
 0.76mm THICK x 22mm WIDE GALVANIZED METAL TIES INSTALLED W/ GALVANIZED SPIRAL NAILS OR SCREWS  
 400mm O.C. HORIZ., 600mm O.C. VERT. AIR BARRIERS, LAYERS TO OVERLAP EACH OTHER  
 RSI 0.88 RIDGE INSULATION  
 EXTERIOR TYPE SHEATHING  
 38x140 WOOD STUDS @ 400 O.C.  
 RSI 3.34 BATT INSUL. IN CONTINUOUS CONTACT W/ EXTERIOR SHEATHING  
 CONTINUOUS AIR / VAPOUR BARRIER  
 12.7mm INTERIOR DRYWALL FINISH  
 DOUBLE PLATE @ TOP  
 SOLE PLATE @ BOTTOM

### 2 FOUNDATION WALL

BITUMINOUS DAMPPROOFING ON MINIMUM 6mm PARGING ON CONCRETE BLOCK FDN. WALL  
 TOP BLOCK COURSE FILLED W/ MORTAR OR CONCRETE  
 PROVIDE PARGING COVERED OVER 450mmx150mm POURED CONC. FOOTING TO BEAR ON UNDISTURBED SOIL  
 PROVIDE DRAINAGE LAYER  
 - MIN. 19mm MINERAL FIBRE INSULATION W/ A DENSITY OF NOT LESS THAN 57kg/m<sup>3</sup>. OR  
 - MIN. 100mm OF FREE DRAINING GRANULAR MATERIAL OR  
 - A.B.M.E.C. APPROVED DRAINAGE LAYER MATERIAL

### 3 BRICK VENEER @ FDN. WALL

0.5mm POLY FLASHING MINIMUM 150mm UP BEHIND SHEATHING PAPER  
 WEEP HOLES @ MIN. 800mm APART

### 4 GRADE

SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI-SOLID BLOCK COURSE AT OR BELOW GRADE LEVEL

### 5 SILL PLATE

38x140 SILL PLATE FASTENED TO FOUNDATION WALL WITH MIN. 12.7mm DIA. ANCHOR BOLTS EMBEDDED MIN. 100mm IN CONCRETE @ 2400mm O.C. MAX. & PROVIDE A CONTINUOUS AIR BARRIER BETWEEN THE FOUNDATION WALL & WOOD FRAME CONSTRUCTION

### 6 FLOOR INSULATION

CONTINUOUS HEADER JOIST WITH RSI 5.46 BATT INSULATION, EXTEND VAPOUR / AIR BARRIER & SEAL TO JOIST AND SUBFLOOR

### 7 FOUNDATION INSULATION

12.7mm INTERIOR DRYWALL FINISH  
 38x89 WOOD STRAPPING @ 400mm O.C.  
 MIN. RSI 3.52 INSULATION W/ 0.15mm POLY VAPOUR BARRIER FULL HEIGHT.  
 MOISTURE BARRIER TO HEIGHT OF EXTERIOR GRADE BETWEEN FOUNDATION WALL & WOOD FRAMING

### 8 BASEMENT SLAB

75mm POURED CONCRETE SLAB (25MPa CONC. STRENGTH)  
 100mm CRUSHED STONE BELOW

### 9 DRAINAGE

100mm DIA. WEEPING TILE W/ 150mm CRUSHED STONE COVER

### 10 ROOF CONSTRUCTION

20 YEAR ASPHALT SHINGLES W/ EAVES PROTECTION ON MIN. 9.5mm EXTERIOR PLYWOOD SHEATHING ON APPROVED ROOF TRUSSES OR CONVENTIONAL FRAMING (SEE PLANS)  
 USE 'H' CLIPS IF 600mm O.C. SPACING

### 11 OVERHANG CONSTRUCTION

PREFINISHED ALUMINUM FASCIA, EAVESTROUGH & RAIN WATER LEADERS TO MATCH EXISTING FINISHES. PROVIDE DRIP EDGE AT FASCIA & VENTED SOFFIT  
 EXTEND DOWNSPOUTS TO GRADE LEVEL

### 12 ROOF VENTILATION

1:300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED.

### 13 EAVES PROTECTION

EAVES PROTECTION MEMBRANE TO EXTEND FROM THE EDGE OF THE ROOF, 900mm UP THE SLOPE BUT NOT LESS THAN 300mm BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL

### 14 CEILING CONSTRUCTION

15.9mm INTERIOR DRYWALL FINISH  
 CONTINUOUS AIR/ VAPOUR BARRIER W/ MIN. RSI 10.56 BATT INSULATION

### 15 FLOOR CONSTRUCTION

15.5mm T&G PLYWOOD SUBFLOOR  
 38x184 FLOOR JOISTS @ 400mm O.C.  
 FLOOR JOISTS BRIDGED W/ CONTINUOUS 19mmx64mm STRIPPING OR 2 ROWS OF 38mmx38mm CROSS BRIDGING OR SOLID BLOCKING

### 16 INTERIOR STUD PARTITION

12.7mm DRYWALL FINISH BOTH SIDES OF 38x89 WOOD STUDS @ 400mm O.C.  
 2 TOP PLATES & 1 BOTTOM PLATE  
 PROVIDE REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION IN BATHROOM

### 17 MECHANICAL VENTILATION

PROVIDE MIN. 5.0 L/S IN KITCHENS AND BATHROOMS, 37.5 L/S FOR PRINCIPAL EXHAUST FAN

### 18 STAIRS INTERIOR / EXTERIOR

MAXIMUM RISE	=	200mm
MINIMUM RISE	=	125mm
MINIMUM RUN	=	255mm
MAXIMUM RUN	=	355mm
MINIMUM TREAD	=	255mm
MAXIMUM TREAD	=	380mm
MAXIMUM NOSING	=	25mm
MINIMUM WIDTH	=	860mm
MINIMUM HEADROOM	=	1950mm

### 19 GUARDS

INTERIOR LANDINGS	=	900mm
EXTERIOR BALCONY	=	1070mm
INTERIOR STAIRS	=	900mm
EXTERIOR STAIRS	=	900mm
MAX. BETWEEN PICKETS	=	<100mm

GUARD HEIGHT IF DECK TO GRADE IS:  
 GREATER THAN 1800mm = 1070mm  
 1800mm OR LESS = 900mm  
 NO MEMBER OR ATTACHMENT BETWEEN 140mm & 900mm HIGH  
 SHALL FACILITATE CLIMBING

### 20 ATTIC ACCESS

PROVIDE ATTIC ACCESS  
 MIN. 545mmx588mm W/ INSULATION & WEATHER STRIPPING

### 21 PIERS

PROVIDE 200mm SIA. SONO TUBE FOR POURED CONCRETE PIERS  
 MINIMUM 1200mm BELOW GRADE

22 EXISTING SOLID MASONRY EXTERIOR WALL TO REMAIN

23 73mm DIA. PIPE COLUMN W/ 100mmx100mmx6.35mm TOP & BOTTOM PLATE  
 1mx1mx450mm CONCRETE FOOTING

24 EXISTING FLOOR STRUCTURE TO REMAIN

25 EXISTING CEILING STRUCTURE TO REMAIN

26 REMOVE EXISTING EXTERIOR WALL AS SHOWN DOTTED

27 REMOVE EXISTING INTERIOR STUD PARTITIONS AS SHOWN DOTTED

28 REMOVE EXISTING ROOF OVERHANG AS SHOWN DOTTED

29 REMOVE EXISTING FOUNDATION WALL AS SHOWN DOTTED

30 REMOVE EXISTING WINDOW & FRAME  
 MAKE GOOD OPENING W/ BRICK TO MATCH EXISTING ON THE EXTERIOR

31 INSTALL A CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CGA-6.19 OR UL 2034

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ROOM FINISH SCHEDULE											
RM NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING			REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
	FIRST FLOOR										
①	KITCHEN	CERAMIC TILE	-----	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	
②	BREAKFAST	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
③	BEDROOM	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
④	CLOSET	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
⑤	BATH	CERAMIC TILE	-----	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	
	BASEMENT										
⑥	REC. ROOM	CONC.	CERAMIC TILE	WOOD	PAINT	DRYWALL	PAINT			2340mm	

DOOR SCHEDULE				
NO.	TYPE	SIZE	QTY.	REMARKS
①	EXTERIOR	1525mm x 2030mm	1.	FRENCH DOOR
②	SLAB	760mm x 2030mm	1.	800 SERIES
③	SLAB	610mm x 2030mm	1.	800 SERIES
④	POCKET DOOR	610mm x 2030mm	2.	

LINTEL SCHEDULE	
NO.	DESCRIPTION
①	2-38x184 SPRUCE
②	3-38x184 SPRUCE
③	2-38x235 SPRUCE
④	3-38x235 SPRUCE
⑤	2-38x286 SPRUCE
⑥	3-38x286 SPRUCE
⑦	90mm x 90mm x 6mm L
⑧	90mm x 90mm x 8mm L
⑨	100mm x 90mm x 6mm L

- LEGEND**
- DUPLEX OUTLET (WEATHERPROOF)
  - DUPLEX OUTLET (HGT. ABOVE FLR.)
  - DUPLEX OUTLET (300mm ABOVE FLR.)
  - EXHAUST FAN
  - SWITCH
  - HOSE BIB
  - SMOKE DETECTOR
  - HEAVY DUTY OUTLET
  - LIGHT FIXTURE (WALL MOUNTED)
  - LIGHT FIXTURE (CEILING MOUNTED)
  - POT LIGHT FIXTURE
  - LIGHT FIXTURE (WATER RESISTANT)
  - LIGHT FIXTURE (CAPPED)
  - FLUORESCENT LIGHT FIXTURE
  - SOLID WOOD BEARING
  - FLOOR DRAIN
  - TV CABLE OUTLET
  - TELEPHONE OUTLET
  - COMPUTER OUTLET
  - DRYER EXHAUST

WINDOW SCHEDULE				
NO.	TYPE	SIZE	QTY.	REMARKS
①	CASEMENT	1525mm x 1525mm	1.	MAXIMUM U-VALUE 1.8
②	CASEMENT	610mm x 1525mm	2.	MAXIMUM U-VALUE 1.8
③	SLIDER	915mm x 450mm	2.	MAXIMUM U-VALUE 1.8

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/ A MIN. AREA OF 0.35m<sup>2</sup> W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR

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