



Municipality of Port Hope
56 Queen Street
Port Hope, ON
L1A 3Z9

REPORT TO: Community Development Committee

FROM: Theodhora Merepeza, Planning Manager
Emily Schaefer, Planner

SUBJECT: Complete Application
Zoning By-law Amendment Application (ZB04-2021)
65 Ward Street, Urban Area
Municipality of Port Hope

AGENT: NOVATECH on behalf of the owner Southbridge Healthcare GP Inc.

DATE: August 3, 2021

RECOMMENDATION:

That the Staff Report from the Planner respecting proposed Zoning By-law Amendment (ZB04-2021) for 65 Ward Street be received for information; and further,

That Staff be directed to prepare for the notification and public meeting requirements in accordance with the *Planning Act*.

BACKGROUND:

The purpose of this report is to acknowledge receipt of complete Zoning By-law Amendment application from NOVATECH on behalf of the owner Southbridge Healthcare GP Inc. for lands legally described as Lots 21-31 of the Smith Estate Plan, Port Hope. The subject lands are municipally known as 65 Ward Street, in the Urban Area of the Municipality of Port Hope (see **Figure 1: Subject Lands Map**). The subject lands are bound by streets on three sides, with approximately 91 m of frontage on Ward Street, 159 m of frontage on Hope Street South and 115 m of frontage on Princess Street. The subject site has an area of 10,800 m² (1.08 ha) and is currently occupied by four existing structures, including the existing 47-suite long-term care facility (“Hope Street Terrace” municipally addressed as 20 Hope Street South), the former Port Hope Hospital, two-storey brick dwelling, and brick “powerhouse” building. Three of the existing buildings on the property have historical heritage value to the community including the former Port Hope Hospital. Throughout the lands there are number of existing trees ranging in size. Majority of the trees are sited along property boundaries adjacent to Ward Street, Hope Street and along the rear property line.

The applicant has concurrently submitted a site plan application (File No. SP11-2021) which proposes to redevelop the lands by constructing a new seven-storey (13,292 sq.m), 192-suite long-term care facility.

In April 2018, the Municipality gave direction to Staff to publish a Notice of Intention to Designate the Subject Lands (the “NOID”) in respect of heritage attributes relating to the Hospital Buildings pursuant to Section 29 the Ontario Heritage Act, R.S.O. 1990, c. O.18. The designation was appealed and subsequently referred to the Conservation Review Board (the “CRB”). The CRB recommended to Council designation of the Subject Lands in respect of certain heritage attributes relating to the Hospital Buildings. Following the CRB’s recommendation, Southbridge and the Municipality entered into a legal agreement to ensure certain development approvals are completed prior to withdrawal of the NOID.

The applicant anticipates that construction of the new long-term care facility will occur over a two-year period with interim measures in place to provide continued care and parking access to the residents, visitors and staff of Hope Street Terrace while the new long-term care facility is being constructed. The applicant intends for construction to begin immediately following the demolition of the Port Hope Hospital and brick dwelling. Once the new building has been constructed, residents will be transitioned to the new long-term care facility. Following occupancy of the new long-term care facility, the existing long-term care facility (Hope Street Terrace) and powerhouse will be demolished, and the lands will be redeveloped as a surface parking lot to accommodate the required staff and visitor parking area.

PROPOSAL:

The subject lands, located at 65 Ward Street, are currently designated “Major Institutional” by the Municipality of Port Hope Official Plan and zoned Urban Institutional ‘IU’ by the Zoning By-law 20/2010, as amended.

The proposed zoning by-law amendment seeks to rezone the subject lands of 65 Ward Street from Urban Institutional ‘IU’ to Urban Institutional Exception ‘IU(135)’. The purpose of the proposed rezoning is to:

- permit an increased maximum building height from 19 m to 26 m in order to facilitate the development of a seven-storey long-term care facility;
- expand the zoning provisions to allow for the waste storage area to be located within the exterior lot line along Princess Street; and
- expand the zoning provisions to allow for the loading space to be located within the exterior yard along Princess Street.

For a visual representation of the above noted proposed changes, see **Figure 2: Proposed Site Plan Drawing**. A building perspective and elevations are also attached.

NEXT STEPS:

Once the applications are considered complete, then the technical review from the applicable departments and agencies begins as well as commencement of the Public consultation/engagement process.

Public Consultation

In accordance with the *Planning Act*, the Notice of Complete Applications will be mailed to all assessed persons within 120 metres of the subject lands. Similarly, the notice will be published in local newspaper (Northumberland News) on August 5, 2021 and posted on the municipal website.

A dedicated community consultation site will be created under the Municipality's website. The page will contain links to all the materials submitted by the Proponent. The website will enable for feedback to be submitted by the residents throughout the review process. This site will be updated periodically. Additionally, a Notice will be posted at the site (on two locations) of the proposed lands. All the comments received from local residents concerning the subject applications will be made public and attached to Staff reports.

As part of the application process, Council must convene a formal "statutory" Public Meeting pursuant to the *Planning Act*. The Public Meeting will be scheduled in late 2021. Notification requirements would be identical to the requirements outlined above for these Complete Applications. At the Public Meeting, staff will present a report that will provide an overview of the planning applications, associated reports, planning legislation and comments received to date. No formal recommendations are provided in the staff report and no Council decision is rendered. The public can provide input to the Municipality's Council and staff at any point prior to Council's decision.

A Planning Recommendation report will be prepared after the statutory Public Meeting and will be presented to a Committee of the Whole meeting, prior to Council rendering a decision.

RESOURCE IMPLICATIONS:

There are no anticipated negative financial implications imposed on the Municipality because of this Zoning By-law Amendment. The applicant has submitted the required fees.

CONCLUSION:

1. Staff considers the application for a Zoning By-law Amendment (ZB04-2021) for lands municipally known as 65 Ward Street to be a *complete application* under Section 34 (10.4) of the *Planning Act*.
2. That Staff be directed to prepare for the notification and public meeting requirements in accordance with the *Planning Act*.

Respectfully submitted,

Theodhora Merepeza, M.C.P., MCIP, RPP
Planning Manager

Figure 1: Subject Lands Map

Figure 2: Proposed Site Plan Drawing

Attachment 1: Perspective of Proposed Building

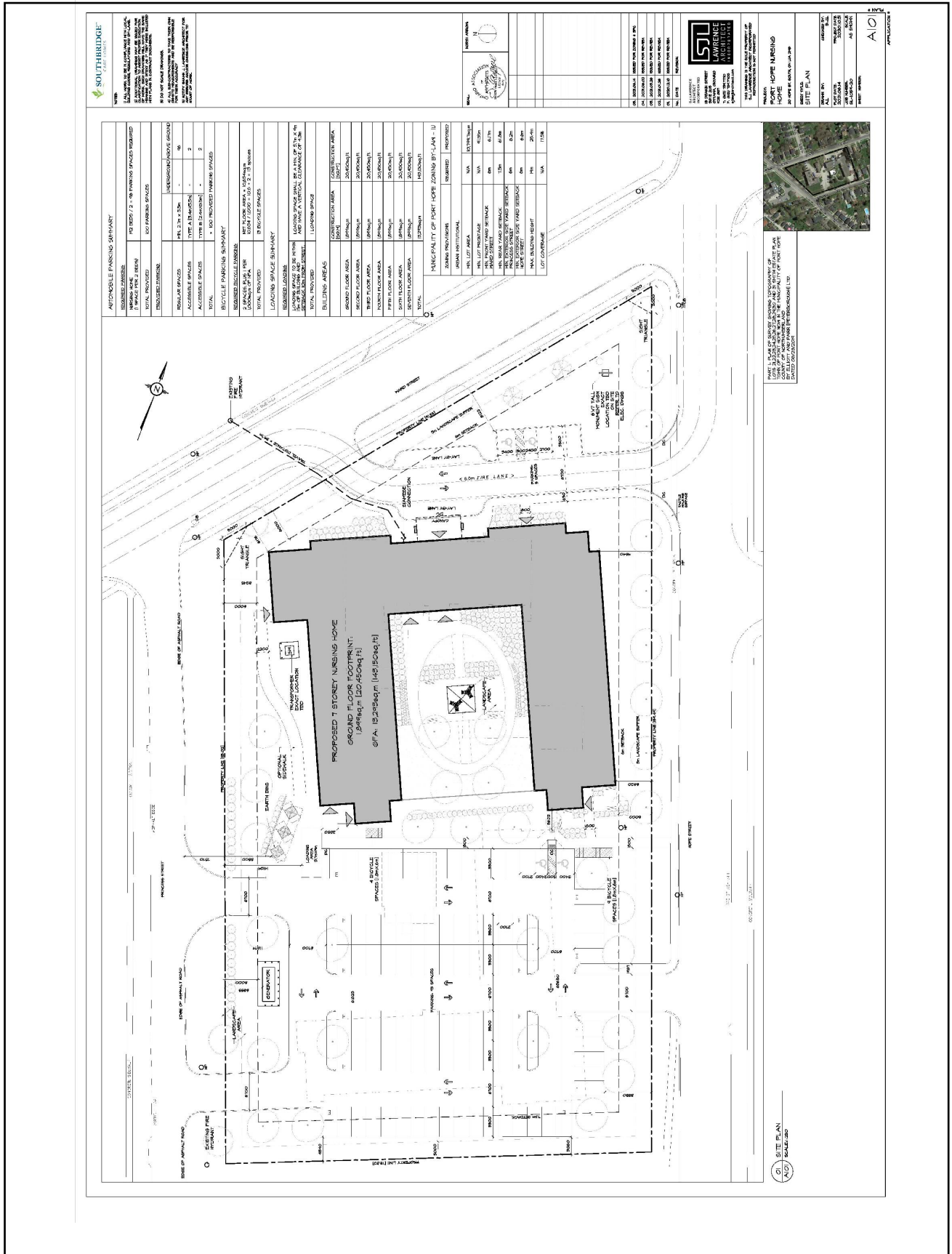
Attachment 2: Proposed Building Elevations

Figure 1: Subject Lands Map



<p>Subject Lands Map</p>	<p>The Corporation of the Municipality of Port Hope 56 Queen Street Port Hope, ON L1A 3Z9</p>
<p>Zoning By-law Amendment File ZB04-2021 65 Ward Street, Port Hope NOVATECH on behalf of the owner Southbridge Healthcare GP Inc.</p>	

Figure 2: Proposed Site Plan Drawing



Attachment 1: Perspective of Proposed Building



**North East Perspective of Building
(Looking from southwest corner of Ward Street and Hope Street)**

Attachment 2: Proposed Building Elevations



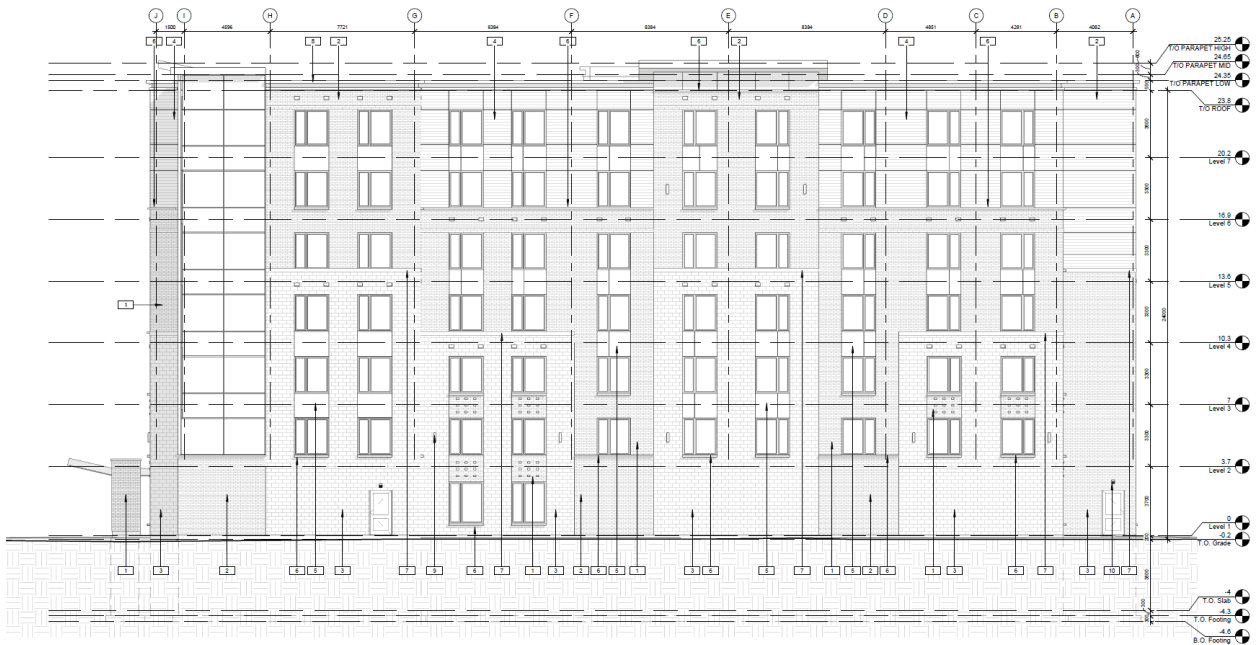
North Elevation (Looking south from Ward St towards building's front entrance)



South Elevation (Looking north towards the interior of 'U shape' building)



East Elevation (Looking west from Hope Street)



West Elevation (Looking east from Princess Street)