

NOTES:  
1. ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.  
2. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS & CONTRACT DOCUMENTS.

3. DO NOT SCALE DRAWINGS.  
4. ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.  
5. NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

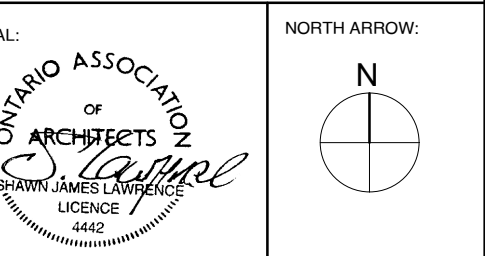
AUTOMOBILE PARKING SUMMARY			
<b>REQUIRED PARKING</b>			
NURSING HOME (1 SPACE PER 2 BEDS)	142 BEDS / 2 = 46	PARKING SPACES REQUIRED	
TOTAL PROVIDED	100 PARKING SPACES		
<b>PROVIDED PARKING</b>			
		UNDERGROUND	ABOVE GROUND
REGULAR SPACES	MIN. 2.7m x 5.5m	-	46
ACCESSIBLE SPACES	TYPE A [3.4m x 5.5m]	-	2
ACCESSIBLE SPACES	TYPE B [2.4m x 5.5m]	-	2
TOTAL	= 100 PROVIDED PARKING SPACES		

BICYCLE PARKING SUMMARY			
<b>REQUIRED BICYCLE PARKING</b>			
2 SPACES PLUS 1 PER 1,000sq.m OF NFA	NET FLOOR AREA = 10,634	10,634 / 1,000 = 10.6 + 2 = 13 spaces	
TOTAL PROVIDED	13 BICYCLE SPACES		

LOADING SPACE SUMMARY			
<b>REQUIRED LOADING</b>			
LOADING SPACE TO BE WITHIN 15m OF BUILDING AND SETBACK 10m FROM STREET.	LOADING SPACE SHALL BE A MIN. OF 3.7m x 9m AND HAVE A VERTICAL CLEARANCE OF 4.3m		
TOTAL PROVIDED	1 LOADING SPACE		

BUILDING AREAS		
	CONSTRUCTION AREA [SQ.M]	CONSTRUCTION AREA [SQ.FT]
GROUND FLOOR AREA	1,923sq.m	20,699sq.ft
SECOND FLOOR AREA	1,923sq.m	20,699sq.ft
THIRD FLOOR AREA	1,923sq.m	20,699sq.ft
FOURTH FLOOR AREA	1,923sq.m	20,699sq.ft
FIFTH FLOOR AREA	1,923sq.m	20,699sq.ft
SIXTH FLOOR AREA	1,923sq.m	20,699sq.ft
SEVENTH FLOOR AREA	1,923sq.m	20,699sq.ft
TOTAL	13,461sq.m	144,893sq.ft

MUNICIPALITY OF PORT HOPE ZONING BY-LAW - IU		
ZONING PROVISIONS	REQUIRED	PROPOSED
<b>URBAN INSTITUTIONAL</b>		
MIN. LOT AREA	N/A	10,799.7sq.m
MIN. LOT FRONTAGE	N/A	41.55m
MIN. FRONT YARD SETBACK WARD STREET	6m	6.14m
MIN. REAR YARD SETBACK	7.5m	61.79m
MIN. EXTERIOR SIDE YARD SETBACK PRINCESS STREET	6m	8.24m
MIN. EXTERIOR SIDE YARD SETBACK HOPE STREET	6m	6.59m
MAX. BUILDING HEIGHT	19m	24.3m
LOT COVERAGE	N/A	17.8%



No.	DATE	REVISION
15.	2022.01.27	RE-ISSUED FOR ZONING & SPC
14.	2021.11.12	ISSUED FOR REVIEW
13.	2021.11.10	ISSUED FOR REVIEW
12.	2021.09.01	ISSUED FOR PERMIT
09.	2021.07.19	LONG-TERM CARE HOME PRELIMINARY PLAN SUBMISSION
08.	2021.07.16	ISSUED FOR CM RFP ADD #2
07.	2021.06.28	ISSUED FOR CM RFP
06.	2021.06.18	ISSUED FOR MINISTRY REVIEW
05.	2021.06.14	ISSUED FOR ZONING & SPC
04.	2021.06.02	ISSUED FOR REVIEW
03.	2021.05.26	ISSUED FOR REVIEW
02.	2021.01.26	ISSUED FOR REVIEW
01.	2020.12.10	ISSUED FOR REVIEW

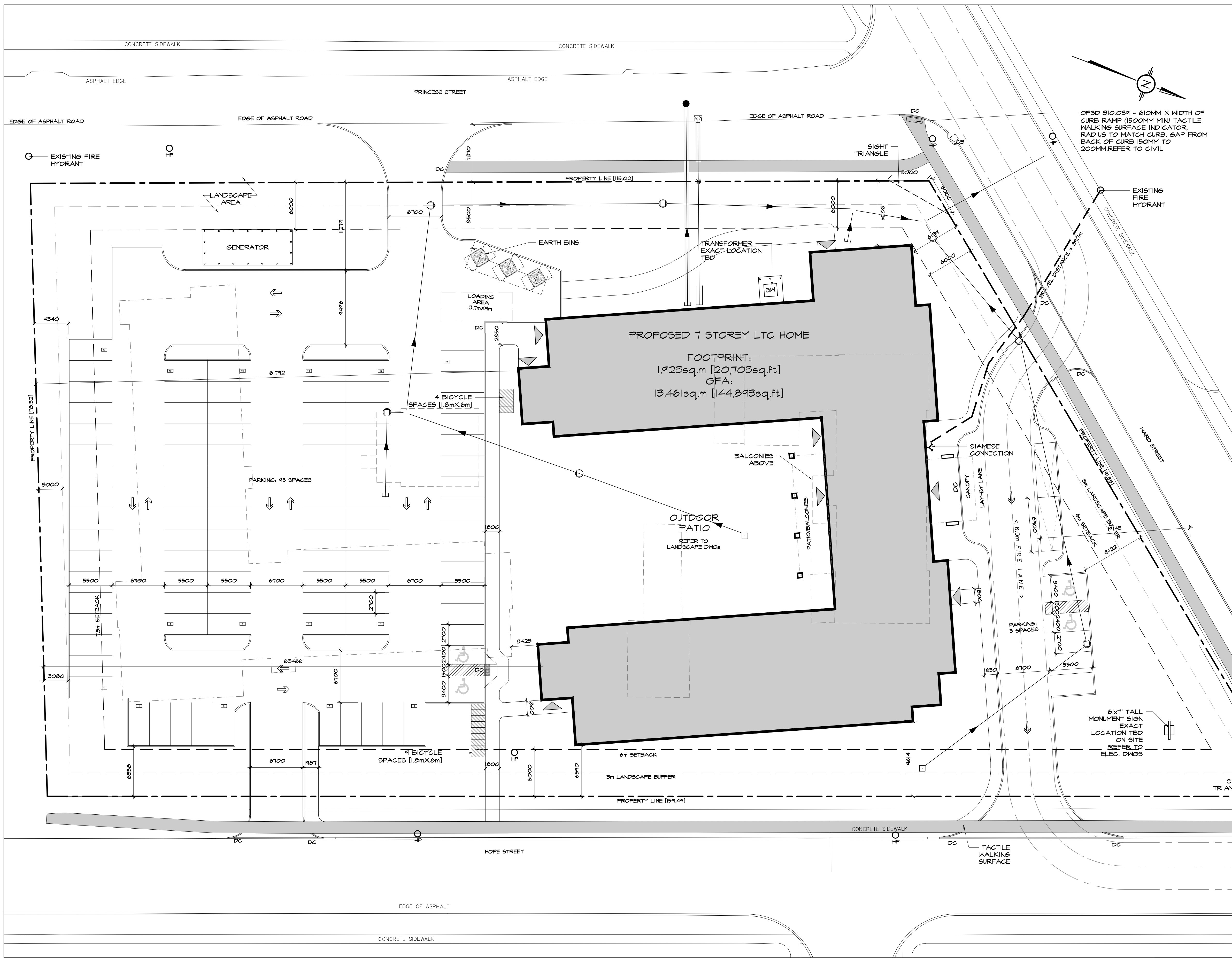
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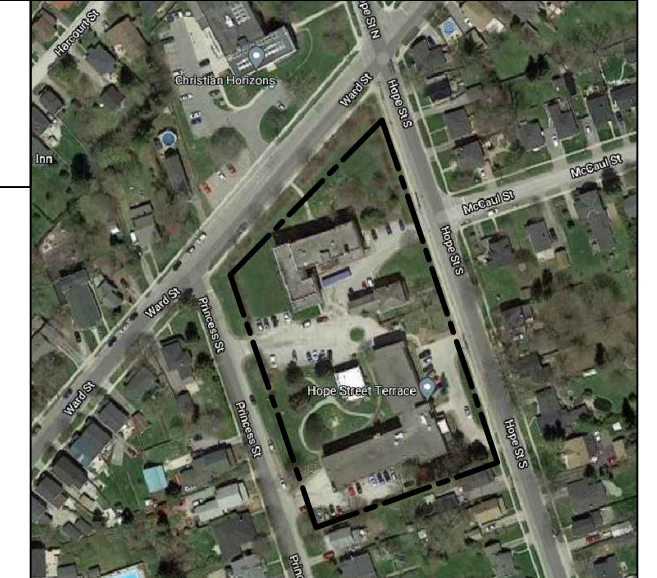
PROJECT:  
**SOUTHBRIDGE PORT HOPE LTC**  
20 HOPE ST. SOUTH, ON L1A 2M8

SHEET TITLE:  
**SITE PLAN**

DRAWN BY: B.L. CHECKED BY: S.J.L.  
PLOT DATE: 2022.01.27 PROJECT DATE: 2020.10.31  
JOB NUMBER: SL-1059-20 SCALE: AS SHOWN  
SHEET NUMBER:



PART I: PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOTS 21, 22, 23, 24, 25, 26, 27, 28, 29, 30 AND 31 SMITH ESTATE PLAN TOWN OF PORT HOPE NOW IN THE MUNICIPALITY OF PORT HOPE COUNTY OF NORTHUMBERLAND BY ELLIOTT AND PARR (PETERBOROUGH) LTD. DATED 08/23/2019



01 SITE PLAN  
A101 SCALE: 1:250