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Southbridge Long Term Care Home 65 Ward Street, Port Hope ON

Planning Rationale in Support of a Zoning By-law Amendment and Site Plan Control Application

Prepared for: Southbridge Care Homes

Planning Rationale

In Support of Zoning By-law Amendment and Site Plan Control Applications

Southbridge Long-Term Care Home 65 Ward Street, Port Hope ON

Prepared for:



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June 15, 2021

Municipality of Port Hope
Planning Division
56 Queen Street
Port Hope, ON L1A 3Z9

Attention: Tom Dodds, Director of Community Development

**Reference: Southbridge Long-Term Care Facility
Zoning By-law Amendment and Site Plan Control Applications
Our File No.: 120226**

Novatech has prepared this Planning Rationale on behalf of Southbridge Care Homes in support of a Zoning By-law amendment application and related Site Plan Control application for lands located at 65 Ward Street in the Municipality of Port Hope.

Southbridge Care Homes is proposing to redevelop the subject property with a new seven-storey, 192-bed long-term care facility designed by SJL Architect Inc. The redevelopment of the subject property includes demolishing two existing buildings on the property while maintaining the existing long-term care facility through the duration of construction to provide continued health care service needs to existing residents. Following the construction of the new facility, the existing long-term care home and powerhouse will be demolished to accommodate the associated off-street parking area. The new long-term care facility is proposed to accommodate demands for health care services in the community and to meet Ministry of Health and Long-Term Care standards.

The Planning Rationale outlines the proposed development and provides the details and rationale for the proposed zoning amendment. Moreover, this report demonstrates that the proposal conforms to relevant provincial and municipal planning documents, including the Municipality of Port Hope Official Plan. Finally, the report provides a brief summary of the technical reports and studies that have been prepared to support the zoning amendment and related site plan application.

Please do not hesitate to contact the undersigned should you require additional information or clarification with respect to what has been provided in the enclosed Planning Rationale.

Yours truly,

NOVATECH



Jordan Jackson, MCIP, RPP
Planner

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1.0 INTRODUCTION

1.1 Purpose

Novatech has prepared this Planning Rationale in relation to a proposed Zoning By-law amendment and related Site Plan Control application to accommodate the redevelopment of the Hope Street Terrace, a 47-suite long-term care facility operated by Southbridge Care Homes located at 20 Ward Street.

The purpose of the amendment is to rezone the entire property to accommodate a new seven-storey, 192-bed long-term care facility designed by SJL Architect Incorporated that will provide enhanced long-term care services for those in need within the local and regional community. The project proponent is Southbridge Care Homes, who owns and operates a number of long-term care and retirement communities throughout Ontario, including the current Hope Street Terrace facility on the subject lands.

This Planning Rationale provides details for the proposed Zoning By-law amendment and Site Plan Control applications and demonstrates that the proposed development is appropriate for the subject lands. The Planning Rationale demonstrates that the proposed long-term care home is consistent with the Provincial Policy Statement (PPS), Growth Plan for the Greater Golden Horseshoe and is in conformity with policies provided in the Northumberland County Official Plan. This Rationale also demonstrates the proposed development addresses policies of the Municipality of Port Hope's Official Plan, specifically with respect to land use compatibility and the suitability of the property to accommodate the proposed use.

1.2 Site Location and Description

The subject lands include lands legally described as Lot 21-31 of Plan Smith Estate in the Municipality of Port Hope and locally known as 20 Hope Street and 65 Ward Street. The subject lands are located east of Port Hope's downtown core, on the south side of Ward Street, and occupy the entire Block between Hope Street to the east and Princess Street to the west (**Figure 1**). The subject lands have an area of approximately 1.08 ha with approximately 91m of frontage on Ward Street. As the property is bound by streets on three sides, the lands also have approximately 159m of frontage on Hope Street and 115m of frontage on Princess Street.

The lands are currently occupied by four existing structures including the existing 47-suite long-term care home (**Figure 2**), the former Port Hope Hospital, a 2-storey brick dwelling, and brick "powerhouse" building. Three of the existing buildings on the property have historical heritage value to the community including the former Port Hope Hospital located at 65 Ward Street (**Figure 3**), the two-storey brick house which is currently used as storage space, and a small brick building which was previously used as the laundry facility for the former hospital, and is now used as a "powerhouse" located at 20 Hope Street. Throughout the site there are number of existing deciduous and coniferous trees ranging in size from 0.15 to 1.0m in diameter. Majority of the trees are sited along property boundaries adjacent to Ward Street, Hope Street and along the rear property line.



Figure 1: Location of the Subject Site



Figure 2: View of the Hope Street Terrace Long-Term Care Home from Hope Street



Figure 3: View of the former Port Hope Hospital facing Ward St

The subject lands are sited within an established residential neighbourhood within the urban area of Port Hope. The predominate land use within the immediate surrounding area is low and medium density residential with a few surrounding institutional uses including a local municipal park (Port Hope Agricultural Park) sited approximately one block east of the subject lands. North of the subject lands is the former Dr. L.B. Powers School which has been converted into a low-rise residential apartment building.

Low rise residential dwellings consisting of predominantly 1-2 storey single detached dwellings are sited adjacent to the subject property along Hope Street, Princess Street and Ward Street. Dwellings within the area can be characterized by dwellings constructed at the turn of the century.

1.3 Land Use and Community Context

The subject lands and the surrounding area are designated in the Northumberland County Official Plan as Urban Area and located within the Built Boundary on Schedule A. On Schedule C-1 of the Municipality of Port Hope Official Plan the subject lands are designated as Institutional – Major and are zoned Urban Institutional (IU) on Schedule ‘A’ – Sheet 10 of the Municipality’s Zoning By-law 20-2010.

1.4 Pre-Application Consultation

Southbridge Care Homes has anticipated redeveloping the subject lands to accommodate local needs for long-term care housing over the last number of years. Southbridge Care Homes began initial discussions with the Municipality to redevelop the property in 2019. More recently, a pre-application meeting was held in January 2021 to discuss the proposed development with Staff and to confirm application submission requirements.

The enclosed Zoning By-law amendment and Site Plan Control applications are supported by the following documents including this Planning Rationale:

- Architectural Site Plan;
- Floor Plan and Elevations;
- Landscape Plan;
- Environmental Site Assessment;
- Geotechnical Report;
- Servicing & Stormwater Management Report;
- Grading, Drainage and Servicing design drawings;
- Heritage Impact Assessment;
- Sun/Shadow Study; and
- Lighting Plan.

A brief summary of technical reports including the Sun/Shadow Study which support the proposed development are provided in **Section 4** of this report.

2.0 PROPOSAL

2.1 Project Description

Southbridge Care Homes owns and operates a number of retirement living and long-term care home facilities throughout Ontario, including Hope Street Terrace and the Regency Long Term Care Home in Port Hope. As the needs in the community continue to grow for health care services and to ensure services will meet provincial standards, the proposed redevelopment of the site is necessary. The proposed 192-bed facility consists of 108 private suites and 42 basic suites which can accommodate care for up to 192 residents. A full spectrum of care services will be provided within the new facility to meet the Ministry of Health and Long-Term Care standards including providing dementia care services. Following the construction of the new facility, an additional 50 to 75 employment opportunities for various industry professionals will be generated by the full operation of the new long-term care home. It is anticipated that the residents of the Regency Long-Term Care Home facility, located at 66 Dorset Street East, will also be transferred to the newly constructed facility to ensure these residents are provided appropriate care services in accordance with Ministry standards.

While the subject lands are appropriately zoned to permit the existing and proposed use of the lands, a zoning by-law amendment is required to accommodate the proposed redevelopment of the property. The purpose of the zoning amendment is to rezone the subject lands to vary specific zone standards and general provisions within the Municipality's Zoning By-law to facilitate the development of the new seven-storey, 192-bed long-term care home as detailed in the site plan submission. Specifically, the zoning amendment proposes to increase the maximum permitted building height and vary standards relating to both refuse storage and loading space locations. A concurrent Site Plan Control application has also been submitted with this zoning amendment as it is Southbridge's intention to commence construction in fall 2021, subject to approval by the Municipality. A copy of the proposed Site Plan is provided in **Appendix A**.

The redevelopment of the site will occur in a manner that will ensure the continued and ongoing care of existing residents of Hope Street Terrace during construction of the new long-term care

home facility. Following Municipal approvals, demolition of the two buildings is anticipated to occur in Fall 2021 with construction beginning thereafter. The construction of the new building is anticipated to occur over a two-year period with interim measures in place to provide continued care and to accommodate the ongoing construction activities and on-site parking.

The proposed seven-storey building has been sited on the property to maximize setbacks from nearby residential dwellings and sited closer towards Ward Street, a local collector road. The layout has been designed in a “u-shape” configuration such that the front of the new facility will have a Ward Street presence, with secondary presence on Hope and Princess Streets. The main building entrance has been oriented to Ward Street with the associated parking at the rear of the building and amenity space within a landscaped courtyard central to the site. The siting of the building was also chosen to accommodate the ongoing construction of the new facility while allowing the existing facility to remain in order to provide continued residential care for existing residents during construction. This will allow existing residents to remain in care without having to be displaced as the new building is being constructed.

As demonstrated on the proposed interim site plan (**Figure 4**), the new building can be constructed immediately following the demolition of the Port Hope Hospital and brick dwelling. Interim parking will be accommodated through a combination of limited on-site parking for staff, and off-site parking for construction trades and excess staff. Once the new building has been constructed, residents will be transitioned to the new building without any disruption to their health care service needs. Following occupancy of the new building, the existing home will be demolished, and the lands will be redeveloped as a surface parking lot to accommodate the required staff and visitor parking area.

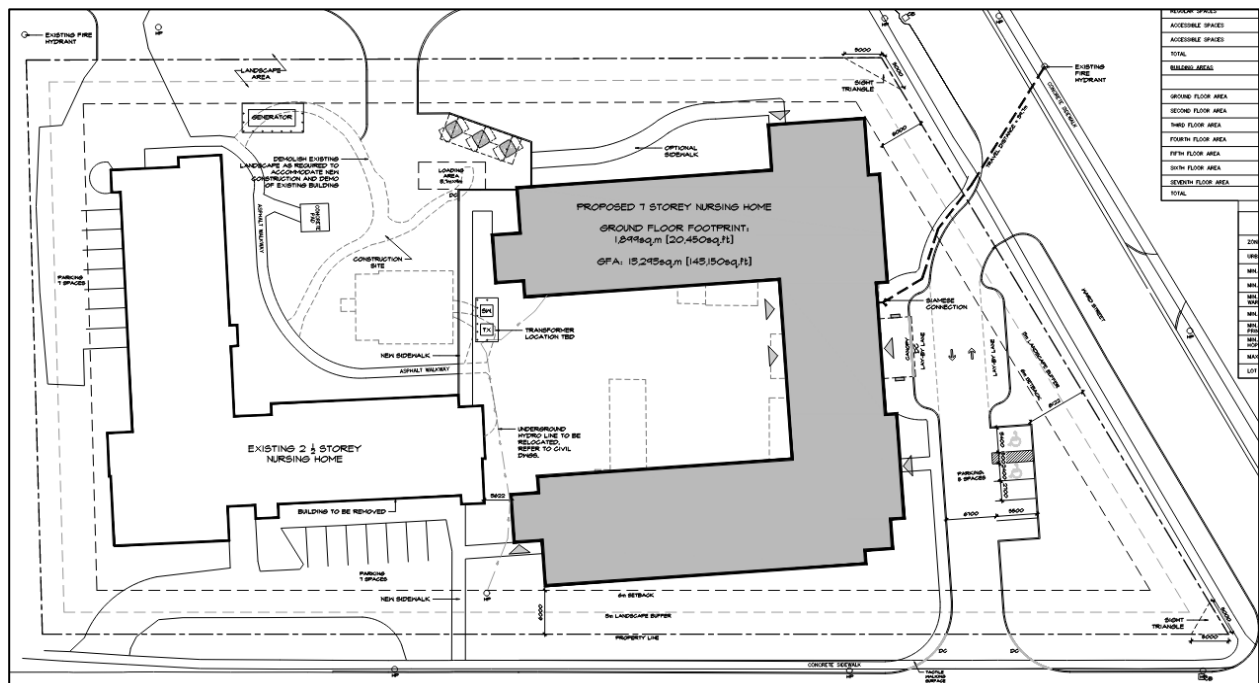


Figure 4: Excerpt of Interim Site Plan for 65 Ward Street prepared by SJL Architect Inc

Following full build-out and construction, the site will be serviced by 100 surface parking spaces and required bicycle parking spaces provided at the rear, **Figure 5**. Given that the property



Figure 6: Proposed Long Term Care Facility Ward Street Elevation by SJL Architect Inc



Figure 7: Proposed Long Term Care Facility Hope Street Elevation by SJL Architect Inc

The site will include enhanced landscaping features along all three property boundaries facing the street as well as a proposed landscaped and outdoor amenity area for residents of the new long-term care home and staff within the building courtyard. In recognition of the former Port Hope Hospital and its cultural heritage significance, the northeast corner of property will feature a commemorative feature incorporated into the landscape design. It is anticipated that the commemorative nature of the feature and related landscape design would be determined in consultation with the community and Municipality as part for the community consultation efforts described below.

2.2 Municipality of Port Hope Comprehensive Zoning By-law Amendment

2.2.1 Purpose and Details of the Amendment

The subject property is zoned Urban Institutional (IU) on Schedule A - Sheet 10 of the Municipality of Port Hope Zoning By-law 20/2010 (**Figure 8**). The purpose of the UI zone is to permit a variety of institutional uses including long-term care facilities, public and community-oriented uses, schools, places of worship and municipal facilities within Ward 1 of the Municipality. The IU zone includes a long-term care facility and nursing home as permitted uses and provides zone standards that apply to these lands.

While proposed site development has been designed comply with IU performance standards, the primary purpose of the amendment is to permit an increased maximum building height from 19m to 26m. In addition, the amendment also seeks to vary general provisions related to the proposed loading space and waste storage location. Accordingly, the purpose of the zoning by-law amendment application is to rezone the subject lands from Urban Institutional - IU to Urban Institutional Exception – IU(x) in order to accommodate the proposed building and site design as shown on the architectural site plan and described in the Table below. A detailed rationale for the zone exceptions are provided in **Section 3.5** of this report.

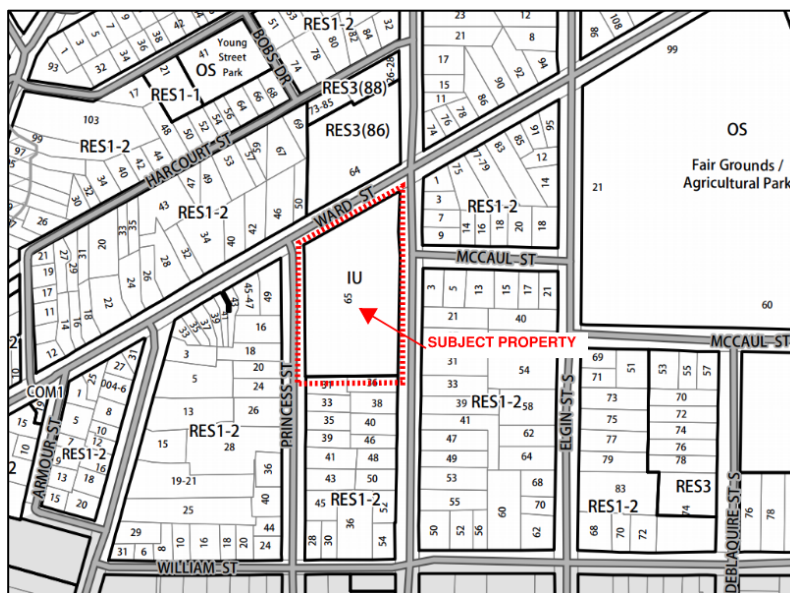


Figure 8: Excerpt of Schedule A – Sheet 10 Municipality of Port Hope Zoning By-law 10/2010

For consideration, the proposed amendment would amend Zoning By-law 20/2010 by adding a new exception zone to Table 12.1 of Part 12 of the Zoning By-law as follows:

Table 1: Proposed Zoning By-law Amendment Details

Col. 1	Col. 2	Col. 3	Col. 4	Col. 5	Col. 6
Zone	Exception Number	Additional Permitted Uses	Only Permitted Uses	Uses Prohibited	Special Provisions
UI	X	-	-	-	(i) Maximum <i>height</i> – 26 metres; (ii) An <i>accessory waste storage area</i> may be located within an exterior yard; (ii) A <i>loading space</i> may be located within an exterior yard.

2.3 Additional Community Consultation

Southbridge Care Homes anticipates hosting one proponent-led public Open House prior to the statutory Public Meeting for the Zoning By-law Amendment. The purpose of the Open House would be for Southbridge Care Homes to provide the public and community stakeholders an opportunity to learn about the proposed redevelopment and to respond to public inquiries.

Given that both the Municipality and community share a common interest in the cultural heritage associated with the former Port Hope Hospital building, the Open House could also be an opportunity to gather local input on approaches for commemorating the former hospital. It is considered that the community consultation will be virtual in nature with assistance offered from the Municipality, such that the forum would be an opportunity to receive meaningful, respectful, and productive comments. Details of the proposed Open House format will be determined in consultation with the Municipality following the formal application submission.

3.0 PLANNING ANALYSIS

The subject lands are subject to both Provincial and local planning policies including the following documents:

- Provincial Policy Statement, 2020;
- Growth Plan for the Greater Golden Horseshoe, 2020;
- Northumberland County Official Plan;
- Northumberland County Housing and Homelessness Plan;
- Municipality of Port Hope Official Plan; and
- Municipality of Port Hope Zoning By-law 20/2010.

The proposed redevelopment of the subject property has been reviewed against the above-noted planning policy documents for consistency and conformity to applicable policies. A detailed analysis of these documents follows.

3.1 Provincial Policy Statement 2020

The *Provincial Policy Statement (PPS) 2020* provides policy direction on land use planning and development matters of provincial interest by setting the policy foundation for regulating the development and use of land as set out in Section 2 of the *Planning Act*. The decisions that affect all planning matters “shall be consistent with” relevant policy statements under the authority of Section 3 of the *Planning Act*. The proposed development has been reviewed for consistency with relevant policies of the PPS.

The following is an overall review of the applicable PPS policies:

Building Strong Healthy Communities

Section 1.1 of the *PPS* speaks to managing and directing land use to achieve efficient and resilient development and land use patterns.

Policy 1.1.1 states that healthy, liveable, and safe communities are sustained by:

- a) *promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
- b) *accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
- c) *avoiding development and land use patterns which may cause environmental or public health and safety concerns;*
- d) *avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent to or close to settlement areas;*
- e) *promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;*
- f) *improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;*
- g) *ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;*
- h) *promoting development and land use patterns that conserve biodiversity; and*
- i) *preparing for the regional and local impacts of a changing climate.*

The proposed development will achieve an efficient land use pattern by using land within an existing urban area to accommodate the redevelopment and expansion of an existing institutional use. The proposed facility will be served by existing municipal infrastructure including water, stormwater, and sanitary services. The new long-term care home will continue to contribute towards providing important health care services for an aging population by catering to the needs of individuals and families in the local and regional community. The design of the new building will be centred around accessibility for the residents, and accommodating a phased development plan, which retains the existing building until the new building is complete and ready to be occupied by the existing residents.

Section 1.1.3 speaks to the vitality and regeneration of settlement areas as being critical to the long-term economic prosperity of communities. Policy 1.1.3.1 requires that settlement areas shall be the focus of growth and development and Policy 1.1.3.2 notes that land use patterns within *settlement areas* shall be based on densities and a mix of land uses which:

- a) *efficiently use land and resources;*
- b) *are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
- c) *minimize negative impacts to air quality and climate change, and promote energy efficiency;*
- d) *prepare for the impacts of a changing climate;*
- e) *support active transportation;*
- f) *are transit-supportive, where transit is planned, exists or may be developed; and*
- e) *are freight-supportive.*

Finally, Policy 1.1.3.4 states that appropriate development standards should be promoted which facilitate intensification, redevelopment, and compact form, while avoiding or mitigating risks to public health and safety.

The subject lands are located within the urban area of the Municipality of Port Hope on lands that are appropriately zoned for the existing institutional community use. The proposed redevelopment and expansion of the use represents an efficient and logical urban intensification using existing infrastructure and public transit services. As a municipality that is experiencing continued growth and development, the redevelopment of use on the subject lands is considered a significant opportunity to facilitate intensification, compact form and efficient use of land and infrastructure within the Municipality's urban area.

Section 1.4 of the *PPS* speaks to housing with the applicable policies. While the proposed development supports an institutional use providing health care services, housing policies remain applicable to the proposed development as the *PPS* includes long-term care homes and housing for older persons as a form of special needs housing.

Policy 1.4.3 requires that planning authorities shall provide for an appropriate range and mix of *housing options* and densities to meet projected market-based and affordable housing needs of current and future residents of the *regional market area* by:

- b) *permitting and facilitating:*

1. *all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes and employment opportunities; and*
 2. *all types of residential intensification, including additional residential units, and redevelopment in accordance with policy 1.1.3.3;*
- c) *directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;*
 - d) *promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed;*
 - e) *requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations; and*
 - f) *establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.*

The proposed long-term care home will continue to provide special needs housing to cater to individuals and families where supports are required for daily living. The proposed development to expand the long-term care facility will also assist in providing individuals the ability to age in place and remain within their community to receive the appropriate levels of service required to do so. As the population within the community continues to rise, the proposed facility will accommodate the future needs of residents. The proposed development represents a compact built form and efficiently uses an existing parcel zoned for this specific use, while also benefiting from proximity to greenspace, commercial and service uses and is served by existing transit routes.

Section 1.5 of the *PPS* speaks to public spaces, recreation, parks, trails, and open space with the applicable policies. Policy 1.5.1 notes that healthy, active communities should be promoted by:

- a) *planning public streets, spaces and facilities to be safe, meet the needs of pedestrians, foster social interaction and facilitate active transportation and community connectivity;*
- b) *planning and providing for a full range and equitable distribution of publicly-accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and where practical, water-based resources;*

The subject site has been designed with considerable attention to providing enhanced landscaping features along all three streetscapes, contributing to high quality urban design, both from a building façade and landscaping perspective.

Section 1.6.6 addresses sewage, water, and stormwater services and directs that existing *municipal sewage services* and *municipal water services*, *intensification* and *redevelopment* shall be promoted wherever feasible to optimize the use of the services. The proposed development will be connected to municipal infrastructure including water, stormwater, and sanitary services, details for which are included in the site plan submission.

Wise Use and Management of Resources

Section 2.0 of the *PPS* speaks to conserving biodiversity and protecting the health of Great Lakes, natural heritage, water, agriculture, mineral aggregate, petroleum, cultural heritage and archaeological resources for the long-term prosperity, environmental health, and social well-being of Ontario. In the current context, cultural heritage resources are most relevant.

Relating to Section 2.6 (Cultural Heritage and Archaeology), a Heritage Impact Assessment (HIA) found that while the site contains heritage value associated with the Port Hope Hospital at 65 Ward Street, the two-storey brick structure and the “powerhouse” located at 20 Hope Street, it was determined that there will be no adverse impacts on neighbouring heritage properties through this development. However, the assessment provides recommendations to mitigate the demolition of the heritage buildings on the subject site, including that a Cultural Heritage Documentation and Salvage Report be required as a condition of Site Plan Approval, and that a Commemoration Plan be required as a condition of Site Plan Approval. It is considered the implementation of the HIA recommendations through site plan approval conditions will ensure cultural heritage resources are conserved.

Protecting Public Health and Safety

Section 3.0 considers the Province’s long-term prosperity, environmental health and social well-being which are dependent on reducing the potential for public cost or risk to Ontario’s residents from natural or human-made hazards. Development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to public health, safety, property damage and not create new or aggravate existing hazards.

On the basis of a Geotechnical and Hydrogeological Investigations to inform design considerations and the results of a Phase 2 Environmental Site Assessment (ESA), it is considered that the site can be safely developed without unacceptable risk to public health and safety.

Based on the foregoing, the proposed development is considered to be consistent with relevant policies of the 2020 Provincial Policy Statement.

3.2 Growth Plan for the Greater Golden Horseshoe

The Growth Plan for the Greater Golden Horseshoe 2019 (Growth Plan) was prepared and approved under the *Places to Grow Act, 2005* and came into effect on May 16, 2019. The Growth Plan applies to lands designated by Ontario Regulation 416/05 and all decisions in respect of the exercise of any authority that affects a planning matter must conform to the Plan. As such the proposed development has been reviewed against policies of the Growth Plan.

The subject lands are identified as being located within the Built-Up Area - Conceptual on Schedule 2 – A Place to Grow Concept of the Growth Plan. The Growth Plan establishes a vision of the region to the year 2051 to manage growth in one of the fastest growing regions in North America. The Growth Plan further acknowledges there are many challenges that communities within the region will face to support growth including nearly 25% of the population by 2041 are expected to be over the age of 60 which results in the need for more age-friendly communities, a mix and range of housing options and easier access to health care services. The proposed redevelopment responds to demographic changes facing the community and wider region by supporting the creation of additional suites within the new, modern long-term care facility that will

support the creation of age-friendly communities, housing options and access to health care services.

As outlined in Section 2 (Where and How to Grow), the Plan aims at accommodating forecasted growth in complete communities which are designed to meet the daily and lifetime needs of residents through access to employment opportunities, housing, public open spaces and the protection of natural, cultural and agricultural resources and protecting the health and safety. Section 2.2.1 (Managing Growth) provides policy addressing where and how growth should occur. Section 2.2.1.2 identifies that forecasted growth will be allocated based on the following:

- a) *the vast majority of growth will be directed to settlement areas that:*
 - i. *have a delineated built boundary;*
 - ii. *have existing or planned municipal water and wastewater systems; and*
 - iii. *can support the achievement of complete communities;*
- b) *growth will be limited in settlement areas that:*
 - i. *are rural settlements;*
 - ii. *are not serviced by existing or planned municipal water and wastewater systems; or*
 - iii. *are in the Greenbelt Area;*
- c) *within settlement areas, growth will be focused in:*
 - i. *delineated built-up areas;*
 - ii. *strategic growth areas;*
 - iii. *locations with existing or planned transit, with a priority on higher order transit where it exists or is planned; and*
 - iv. *areas with existing or planned public service facilities;*
- d) *development will be directed to settlement areas, except where the policies of this Plan permit otherwise;*
- e) *development will be generally directed away from hazardous lands.*

The 'Built-Up Area' is intended to accommodate strategic growth through intensification. Section 2.2.2 of the Plan establishes intensification targets for regions to achieve annually within delineated built up areas. Section 2.2.2.1 b) notes that for lands within Northumberland County, intensification targets will be established through the next municipal comprehensive review. Details for the proposed development with respect to achieving County established intensification targets are provided in **Section 3.3** of this report.

Section 2.2.6, Housing, of the Growth Plan indicates that upper- and single-tier municipalities, in consultation with lower-tier municipalities, the Province, and other appropriate stakeholders, will:

- a) *support housing choice through the achievement of the minimum intensification and density targets in this Plan, as well as the other policies of this Plan by:*
 - i. *identifying a diverse range and mix of housing options and densities, including additional residential units and affordable housing to meet projected needs of current and future residents.*

The proposed development responds to the policies of the Growth Plan by supporting intensification within a designated built up area of the Plan. The redevelopment of an aging facility within the urban area of Port Hope will contribute to providing a mix of housing options and densities, particularly as it responds to the needs of an aging population.

Section 3 of the Growth Plan addresses Infrastructure to Support Growth. Section 3.1 states that investment in public service facilities such as hospitals, long-term care facilities, libraries and schools should be planned and located to keep pace with changing needs, maximize existing infrastructure and to support the achievement of complete communities, co-locating services in community hubs and prioritizing strategic growth areas as appropriate. The proposed development is consistent with the direction of Section 3.1 as it utilizes a parcel zoned for the existing use and serviced by municipal infrastructure to accommodate future growth in long-term care home demand within the community. Further, the proposed redevelopment supports policies of Section 3.2.8 the Growth Plan with respect to public services facilities.

Section 4 (Protecting what is Valuable) establishes that the Growth Plan contains a broad array of important hydrologic and natural heritage features and areas, a vibrant and diverse agricultural land base, irreplaceable cultural heritage resources, and valuable renewable and non-renewable resources. These lands, features and resources are essential for the long-term quality of life, economic prosperity, environmental health, and ecological integrity of the region. Section 4.2.7 states that cultural heritage resources will be conserved to in order to foster a sense of place and benefit communities. As such, a Cultural Heritage Impact Assessment addresses the heritage structures on the subject site and outlines recommendations for commemorating the existing buildings through the development process. Further details are provided in **Section 4.4** of this report.

Based on the foregoing, the proposed development is considered to conform relevant policies of the Growth Plan for the Greater Golden Horseshoe.

3.3 Northumberland County Official Plan

The Northumberland County Official Plan was approved by the Ontario Municipal Board on November 23, 2016 and provides policies and land use categories to manage growth until the year 2034. On Schedule A – Land Use Plan of the County’s Plan the subject site is designated Urban Area within the Built Boundary of the Municipality of Port Hope, **Figure 9**.

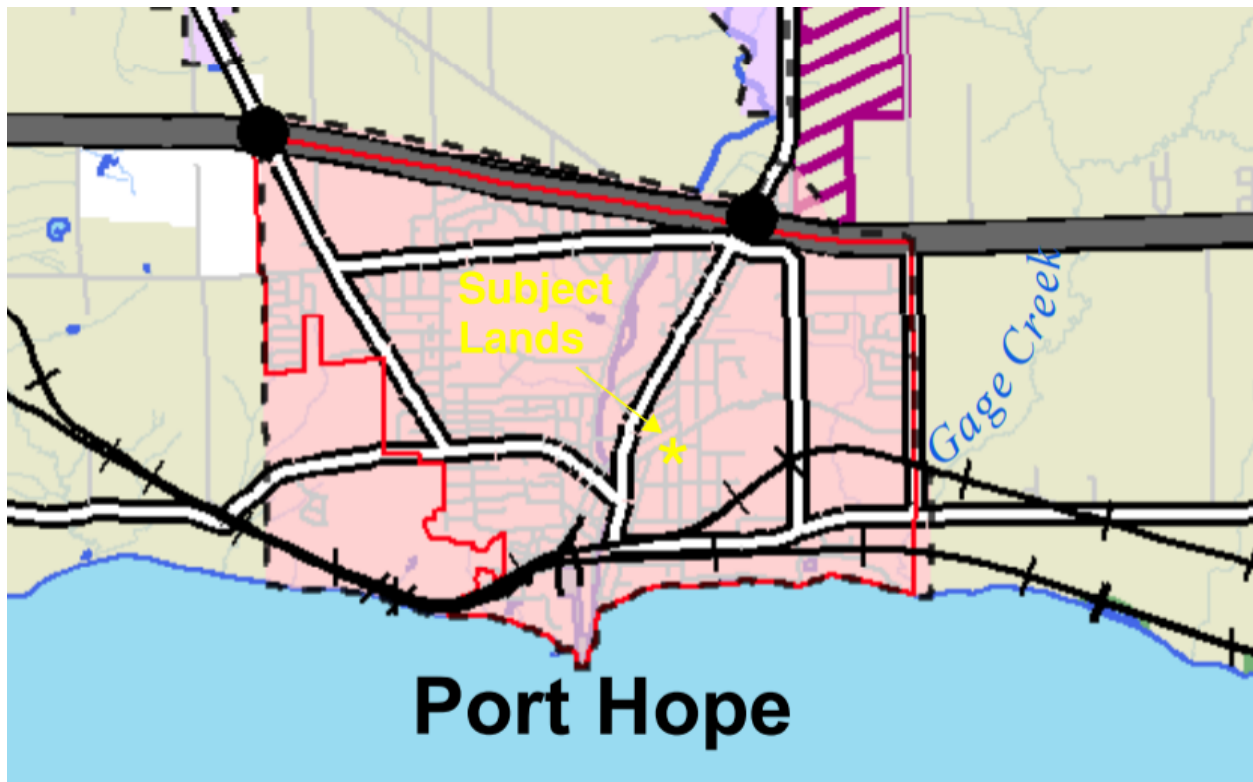


Figure 9: Excerpt of Schedule A – Northumberland County Official Plan

Section B2 of the Official Plan states that “A minimum of 80% of expected population and employment in the planning period is expected to occur in the six urban areas in the County”. Within these six urban areas, including Port Hope, projected population growth is to occur by intensification. The County Plan establishes a minimum intensification target of 50% for the Municipality of Port Hope, Section B9. The proposed redevelopment of the property to accommodate additional long-term care suites contributes towards achieving the intensification target set by the County.

Section C1 speaks more specifically to how development should proceed within the County. This target is supported by the Residential Objectives and goals outlines in Sections C1.2 and C1.5. The County Plan encourages Urban Areas to become complete communities where there is a range of housing types for all levels of income and ages, a range of health care services for the majority of the residents and a range of community and social services to assist the majority of those in need in the community. In Section C1.2.1, the plan sets out objectives for residential areas:

- a) *Maintain and enhance the character and identity of existing residential areas;*
- b) *Encourage the provision of a range of housing types to accommodate persons with diverse social and economic backgrounds, needs and desires while promoting the maintenance and improvement of existing housing;*
- c) *Promote the efficient use of existing and planned infrastructure and public service facilities by supporting opportunities for various forms of residential intensification, where appropriate;*

- d) Encourage increases in density in new development areas to maximize the use of infrastructure and minimize the amount of land required for new development;
- e) Promote a variety of complementary and compatible land uses in residential areas including special needs housing, community facilities, schools, small-scale commercial uses and recreational open space areas;
- f) Encourage a high standard of urban design for development and redevelopment;
- g) Encourage local municipalities to establish comprehensive design guidelines and policies to foster the establishment of communities that are safe, functional and attractive; and,
- h) Implement street designs that provide for pedestrian, cycling and other non-motorized modes of transportation to help create more healthy and complete communities.

The direction of the County's Official Plan supports the proposed redevelopment of an existing property with servicing and community facilities. The proposal will provide special needs housing for a range of individuals with different levels of required care. No new land use is proposed for the subject site, as the new building will have similar functions to existing buildings on the property, however, will better meet the demands for special needs housing and health care services in the area, and is complimentary to the existing residential nature of the surrounding area. A high standard of urban design will be set through the construction of this new building and landscaping elements on the site.

It is the goal of the Plan as outlined in Section C1.5.1 to meet the County's current and future housing needs by ensuring the provision of an appropriate range of housing types and densities to meet the needs of current and future residents. The proposed development will assist in the achievement of intensification and providing special needs housing by redeveloping lands within the urban area.

Based on the foregoing, the proposed development is considered to be conform with relevant policies of the Northumberland County Official Plan.

3.4 Northumberland County Housing and Homelessness Plan

The Northumberland County Housing and Homelessness Plan establishes a direction for the years 2019-2029 for the County and housing partners to ensure all Northumberland residents have safe, appropriate and affordable housing choices and that a functional end to homelessness is achieved. The Plan identifies housing needs in the community including the need to increase the supply of supportive housing, the need for a broad range of housing options for the aging population and people with disabilities and the need for a diverse housing supply. The Plan identifies a target of creating 37 new supportive housing units annually within the County.

The proposed redevelopment of the site is in direct response to meeting the goals of the Plan to increase the supply of supportive housing within the community as it relates to an aging population.

3.5 Municipality of Port Hope Official Plan

The Municipality of Port Hope's Official Plan was adopted by Council 2006 and approved with modifications by the Province in 2008. The current Official Plan was updated and approved with modifications by the Ontario Municipal Board in January 2017. The subject lands are designated

within the Municipality’s Official Plan on Schedule C-1 as *Institutional – Major* and are located within the Municipality’s *Urban Area* as identified on Schedule A of the Official Plan (**Figure 10**).

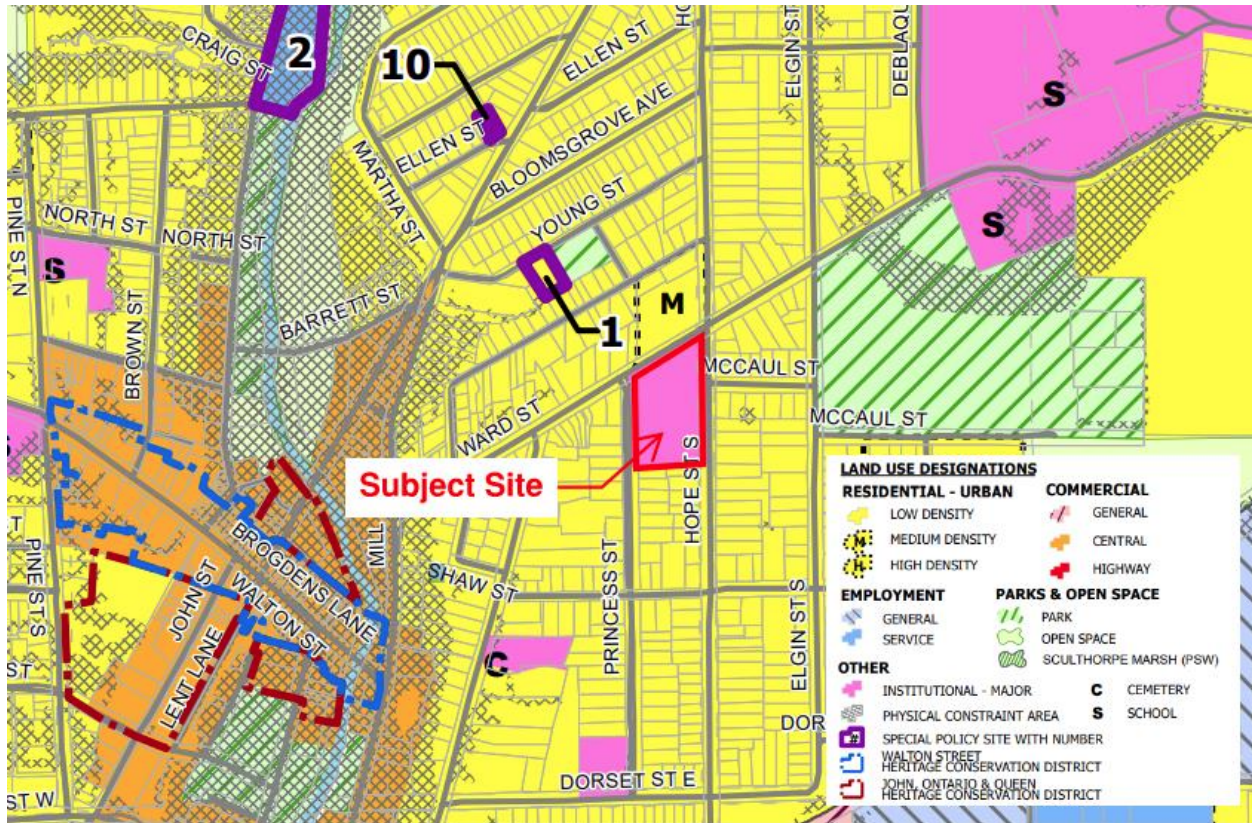


Figure 10: Excerpt of Schedule C-1 Municipality of Port Hope Official Plan

The Municipality of Port Hope’s Official Plan is focused on the need to limit urban sprawl and focus development within the existing urban boundary in order to work towards achieving the Municipality’s Goal’s and Objectives. Section B9.2 provides Objectives for Social and Housing including:

- To encourage the provision of an adequate supply of housing accommodation, by type and tenure, in relation to the needs and demands of both present and future inhabitants of the Municipality as identified in the County of Northumberland 10-year Housing and Homelessness Plan in a form that generates a choice of life styles.
- To encourage intensification within the Urban Area in a manner that is compatible with surrounding development.
- To ensure that all residential areas of the Urban Area are compact, pedestrian friendly, offer a mix of housing types and are accessible to a range of amenities such as community facilities and commercial uses.
- To promote the maintenance and reinforcement of the existing community structure consistent with historic trends and the ability of the community to manage further growth, so as to minimize disruption to the community.

- *To protect and conserve the Cultural Heritage of the Municipality as an integral component of the community.*
- *To ensure that a high standard of design is achieved in all development.*
- *To ensure accessibility to all public buildings and facilities and further encourage all private development to be accessible to all residents of the Municipality, in accordance with the Facility Accessibility Design Standards.*

The proposal represents an opportunity for intensification that addresses special needs housing within both the Municipality, and the County. Redeveloping the existing site will allow for an increased number of long term-care opportunities to meet the demands of an aging population and will allow members of the existing community to age within their neighbourhood. The subject site is located within proximity to the Downtown Area, which presents opportunities for transit, active transportation, and is well connected to the greater community. The development is an opportunity for intensification that reduces the pressures of urban sprawl and greenfield development within the Municipality. A high standard of design is proposed to help animate the streetscape. A number of accessibility features will be used to ensure this building can be accessed by all ages and abilities.

Section B12.4 of the Municipality's Official Plan establishes targets for intensification and identifies intensification areas within the Built Boundary. The Plan identifies an intensification target of 50% of new residential dwelling units to be provided within the Built Boundary. Section B12.5 permits intensification within established residential areas provided intensification potential would be modest, incremental and where municipal servicing capacity is sufficient.

The proposed development offers a roughly 219% increase in the number of long-term care suites than what is currently provided on site. While this proposal provides a notable increase in density in terms of the number of suites, residents and employment opportunities the use and character of a long-term care facility remains compatible with surrounding lands and will not disrupt the residential character and stability of the neighbourhood.

Section C9.1.2.3 of the Official Plan states that the intensification of residential development reduces the need to use vacant designated land on the periphery of the Urban Area. Residential intensification of existing areas allows for the efficient provision of urban services thereby helping to minimize the costs of providing services while meeting an important component of the Municipality's housing needs. Residential intensification may include redevelopment that replaces existing residential uses with compatible new residential development at a higher density than existing uses. Section D2.5 includes residential uses such as nursing homes within the Major Institutional designation as such policies with regards to residential intensification have been reviewed against the proposed development. Further, the subject lands are sited within an established residential neighbourhood and consideration for compatibility of the proposed development to surrounding uses is required by policies of the Official Plan.

Section C9.1.2.3 b) states that the Municipality shall consider applications for infill development, intensification and redevelopment of sites and buildings through intensification based on the following criteria:

- i. the development proposal is within the Urban Area;*
- ii. the existing water and sanitary sewer services can accommodate the additional development;*

- iii. *the road network can accommodate the traffic generated;*
- iv. *the height and density of development is appropriate and compatible with the scale of adjacent development, and the character of the neighbourhood; and,*
- v. *the development proposal will not have a negative impact on cultural heritage resources or natural heritage features in the area.*

The proposed redevelopment of the property makes use of a relatively large urban-serviced parcel. Through building and parking placement, the site has been designed to provide various access points to the main building and parking area. The design also accounts for the required number of units by proposing increased height in favour over a large building footprint. As discussed below, a taller building is considered preferable from both technical and practical points of view.

The Official Plan identifies that Council recognizes the importance of cultural heritage resources within the Municipality and encourages the identification, conservation, protection and restoration of these resources. The Plan notes that new development shall, where possible, incorporate heritage resources into the development and that new development shall be planned in a manner that preserves and enhances the context in which these resources are situated (Section C11.2.2). As there are three existing buildings on the property which are of cultural heritage value to the Municipality including the former Port Hope Hospital, a Heritage Impact Assessment was prepared to support the enclosed applications as the buildings on the site are proposed to be demolished.

Section C11.2.3 notes that to achieve the goal to ensure cultural heritage resources are identified, protect and managed in a manner that maintained their cultural heritage value in the community, Council will:

- a) *Limit the demolition, destruction or inappropriate alteration of Cultural Heritage Resources*
- b) *Encourage development adjacent to significant Cultural Heritage Resources to be of an appropriate scale and character;*
- c) *Require the preparation, by a qualified heritage consultant, of a Cultural Heritage Impact Assessment to evaluate proposed development and site alteration and to demonstrate that the cultural heritage value or interest of cultural heritage resources will be conserved;*
- d) *Encourage and foster public awareness, participation and involvement in the conservation of Cultural Heritage Resources;*
- e) *Support and maintain the existing Cultural Heritage Resource information base, resulting in comprehensive Heritage site inventories and master plans;*
- f) *Facilitate research into the Cultural Heritage of the Municipality and identify methods of its conservation and enhancement;*
- g) *Mitigative measures and/or alternative development approaches may be required in order to conserve the heritage attributes of the protected heritage property affected by the adjacent development or site alteration; and*
- h) *The Municipality of Port Hope will encourage the use of archaeological zoning by-laws under Section 34 (1) 3.3 of the Planning Act, to prohibit and land use activities or the erection of buildings or structures on land which is a site of a significant archaeological resource and to maintain its integrity.*

The prepared Cultural Heritage Impact Assessment notes that through the site plan approval process, the former heritage buildings on the property are to be conserved through a

commemoration plan. The proponent-led Open House is anticipated to gather ideas from the public on how to commemorate the former hospital within the site design of the proposed redevelopment plan.

Section C11.3 of the Official Plan provides policy with respect to Community Design as it is the belief that the Municipality’s identity, and community pride shall be further improved through high quality developments that are integrated with the surrounding community. Community design policies are aimed at promoting the design of buildings and spaces that consider people, the natural environment, energy conservation and consider the surrounding neighbourhood. Section C11.3.5 provides policy for Council to consider in the design of new building. **Table 2** below lists design criteria and the proposed developments response.

Table 2: Proposed Development Response to Section C11.3.5 of Port Hope Official Plan

Official Plan Policy C11.3.5	Project Response
Council shall ensure that the design of new development:	
a) is complementary to adjacent development in terms of its overall massing, orientation and setback;	<p>The development proposes an increase in height to seven storeys. The increase in building height is considered necessary to accommodate a more compact built form and a substantial increase in long-term care units.</p> <p>To mitigate potential impact, the building as been sited on the property where setbacks from adjacent residential uses could be maximized.</p>
b) provides links with pedestrian, cycling and road networks;	<p>The site has been designed with a network of pathways which will allow for safe pedestrian throughout the site, and access to the existing sidewalks and road network surrounding the site.</p>
c) extends the existing road pattern and character to enhance orientation and integrate newly developing areas of the Municipality of Port Hope; and	<p>The proposed layout of the subject site will better animate the street frontage along the collector road of Ward Street by providing a drop off area and pedestrian connections to the sidewalk.</p> <p>The main entrance to building is provided along Ward Street which maintains the street character of the former Port Hope Hospital.</p>

Official Plan Policy C11.3.5		Project Response
d)	maintains and enhances valued cultural and heritage resources and natural features and functions.	<p>As recommended in the Cultural Heritage Impact assessment, a Cultural Heritage Documentation and Salvage Report will be prepared prior to the demolition of the existing buildings.</p> <p>The building proposed on the site has been oriented to face Ward Street which reflects and maintains the positioning of the former Port Hope Hospital on the subject site.</p>
Council shall ensure that the design of extensive areas of redevelopment achieves the following:		
a)	provides a development pattern that supports a range of uses;	The proposed redevelopment will assist in providing supportive housing options for the community through additional long-term care services.
b)	defined the perimeter of such an area by a distinct edge that may be formed by roads or other linear features;	<p>The building is designed in a 'U-Shape' which allows for frontage along all three roads it faces.</p> <p>Additional landscaping is also proposed along the three road frontages to enhance the pedestrian environment and streetscape.</p>
c)	contains activity centres or nodes which are designed to serve the area and which may be identified by one or more landmarks;	A central landscaped courtyard area is proposed to provide amenity area for the future residents and staff.
d)	provides transportation connections to adjacent areas; and	The proposed parking area will have access on both Princess Street and Ward Street. The drop off area along the Ward Street frontage will be accessed by Ward Street and Princess Street.
e)	maintains and enhances valued historic development patterns and resources.	The proposed building is oriented in the same way as the current buildings on site. The building will frame all three frontages and allows the central yard area to continue being used by tenants.
Council shall ensure that proposed development within an established neighbourhood is designed to function as an integral and complementary part of that area's existing development pattern by having regard for:		
a)	massing;	The positioning of the building has been sited to be closer to and facing Ward Street, and more central to the lot to maximize building setbacks from both Hope Street and Princess Street.

Official Plan Policy C11.3.5		Project Response
b)	building height;	The proposed building will be 7-storeys in height and will be the tallest building within the surrounding residential area. The design of the building has been broken up by different materials and colours to reduce the visual impact of the proposed building height.
c)	architectural proportion;	The proposed development of the site attempts to provide a balance between maintaining a moderate proportion of lands covered by the building, parking area and landscaping.
d)	Volumes of defined space;	Having streets on three sides, the building configuration and orientation towards Ward Street will contribute towards defining the use of space, including the privacy provided by the interior courtyard area.
e)	Lot size;	The subject property is 1 ha and within the context of the surrounding neighbourhood is one of the largest properties. The proposed development of the site provides a balance of maintaining a moderate proportion of lands covered by the building, parking area and landscaping.
f)	Position relative to road; and	The building has been sited on the property to meet the minimum standards in the Zoning By-law with respect to front yard and exterior yard setbacks.
g)	Building area to size area ratios.	The proposed redevelopment will be accommodated on a property of nearly 1 ha in size. The siting of the building will result in a lot coverage of 17%. This lot coverage is relatively minor considering the size of the property and the remaining lands used for landscaping and parking area purposes.

Within the Urban Area all development is to be serviced by municipal water and sanitary sewage facilities. The proposed redevelopment of the site will continue to use make efficient use of existing municipal services and provide accommodate stormwater management facilities to support the development meeting the intent of Section 12.1.1 and 12.1.3 of the Official Plan.

Section C13 of the Official Plan provides policy direction with regards to transportation. The site is designed with ample off-street parking for visitors and staff. Bicycle parking is provided at the rear of the building, and connects to Hope Street, Ward Street and Princess Street by a series of pathways to ensure safe movement through the site. A number of new connections are proposed for the site, including new accesses onto the streets with lower traffic flows. Ward Street is identified as a collector road and will accommodate traffic generated by the redevelopment and will be the primary access point of the new front entrance.

The subject lands are designated Major Institutional. Section D5 of the Official Plan provides policy direction for lands designated as Major Institutional which permits a variety of cultural, educational, health, government and religious land uses as well as residential uses in the form of nursing homes and homes for the aged on larger land parcel. The existing and proposed use of a long-term care home is a permitted use on the subject lands as outlined in the Official Plan. Policies of this land use designation recognize that major institutional uses by reason of their size and scale, parking, and activities constitute major centres of activity. These uses require sensitive integration of new or expanded uses to minimize impacts on adjacent land uses. While an Official Plan amendment is not required for the proposed redevelopment of the subject lands, the Official Plan provides criteria for when major institutional uses are expanded. **Table 3** below identifies these criteria and provides a response with regards to the proposed redevelopment of 65 Ward Street.

Table 3: Proposed Development Response to Section D5.3 of Port Hope Official Plan

Official Plan Policy D5.3		Project Response
a)	The compatibility of the proposed development with surrounding land uses having regard to proposed height, setbacks, parking requirements and location, site coverage, the bulk, scale and layout of buildings, and the ability to implement planned future land uses in the area.	<p>The redevelopment of the subject site involves the expansion of a use currently permitted on the site. The site has been designed to meet the minimum standards in the Zoning By-law with respect to building setbacks, landscaping and minimum parking requirements.</p> <p>The redevelopment should not cause any impacts to any planned or existing land uses in the area. Surrounding lands are located within the urban area where intensification is encouraged in the Official Plan.</p>
b)	The potential impact of traffic from the proposed use on the public road system and surrounding land uses and any necessary functional transportation improvements required to support the use.	A Traffic Impact Study will be prepared and included as part of the Site Plan application submission which will review the proposed circulation patterns of the site.
c)	The availability and adequacy of utilities and sewer and water facilities to service the site shall be assured.	A Site Servicing and Stormwater Management Plan has been prepared to demonstrate the redevelopment of the subject lands on the site can be accommodated by existing municipal infrastructure.
d)	The effect of the proposal on Natural Heritage Features or the effect of environmental constraints on the development shall be minimized.	There are no known natural heritage features identified on the subject lands. In addition to the retention of specific trees, the proposed landscape plan includes proposed plantings to enhance and augment the streetscape of this established neighbourhood.

While the existing and proposed use of the property is consistent with the permitted uses of the Major Institutional designation, in general, the positioning of the proposed taller building has been sited to consider compatibility with the surrounding low and medium density residential neighbourhood. The new building has been sited to face Ward Street, a collector road which maximizes the separation distance between the seven-storey building and residential uses towards the rear of the property. The building has also been sited towards the centre of the property to achieve the minimum setback provisions of the Zoning By-law and to reduce the prevalence of shadowing of the taller building on adjacent properties. Further, the subject property benefits from having frontage on three streets. These existing streets provide increased separation from the proposed building and surrounding residential dwellings. The added street separation provides nearly a 25-30m separation buffer to dwellings on either Ward Street, Hope Street and Princess Street.

Based on the foregoing, the proposed development is considered to conform with relevant policies of the Municipality of Port Hope Official Plan.

3.6 Municipality of Port Hope Zoning By-law 20/2010

The Municipality of Port Hope's Zoning By-law was adopted on June 29, 2010 and approved by the Ontario Municipal Board on January 19, 2011 with the last update occurring in January 15, 2019. The subject lands are zoned Urban Institutional - IU on Schedule A – Sheet 10 of the Municipality's Zoning By-law.

The Urban Institutional zone permits a variety of institutional uses including uses related to education, government institutions, community facilities and health care services. Both a long-term care facility and nursing home are listed as permitted uses for the subject lands.

The site plan for the redevelopment of the site with a proposed taller building has been designed to meet the vast majority of the Municipality's development standards within the Zoning By-law, including building setbacks, parking requirements and landscaping. The layout of the site has been designed with the positioning of the building to meet and exceed yard requirements for the IU zone. A total of 100 parking spaces are provided on the site, consisting of a 95-space parking area towards the rear of the building and an additional five spaces towards the front. The minimum standard in the Zoning By-law requires 96 spaces. Of the 100 parking spaces, a total of four barrier-free parking spaces are provided.

In order to accommodate the proposed building height of seven-storeys and functional site plan elements, exceptions to certain zone provisions are required. As noted, the amendment seeks exceptions to the By-law with respect to building height and to permit the waste storage area and loading space within an exterior yard. A rationale for the proposed exceptions to the By-law follows.

Maximum Building Height

Table 10.2 of the Zoning By-law provides zone standards for the Urban Institutional zone which limits the building height to a maximum of 19m. The proposed increase to the maximum permitted building height from 19m to 26m is being advanced on the strength of both technical and functional requirements.

The requested building height will increase the maximum permitted height by 7 metres resulting in an increase of only 2 storeys. The height request of 26m is proposed to accommodate minor building architectural elements including parapets.

Within the surrounding residential area, building heights range in height between 1-3 storeys. The positioning of the building on a lot bound by streets on three sides will result in setbacks to adjacent residential uses in the order of 25-30m, when accounting for street widths in addition to required yard setbacks. Section 4.5 of this report provides a summary of a Sun/Shadow Study prepared to demonstrate the impacts the proposed building height would have on the immediate surrounding areas. As shown in the shadow/study analysis, the majority of the shadow impacts are in relation to casting shadows are over public streets which avoid residential rear yard amenity areas.

It is recognized that at specific times, long shadows will be cast. However, long narrow shadows are considered to have less impact on the neighbourhood than would a wider shadow associated with an as-of-right 19m tall building having a much more expansive building footprint. A taller building will create less off-site shadow impacts than would a 19m tall as-of-right building capable of accommodating an equivalent number of suites. The larger building footprint required to accommodate an equivalent number of units in a shorter building would cast a shadow over a much wider horizontal area as compared to a taller, narrow building wall. Not only will a taller building allow for a greater number of suites and rooms to accommodate existing and future residents, but a taller building will ensure there is sufficient area remaining on the property that is available to accommodate on-site parking and amenity space.

Finally, given the size and location of the footprint of the existing building, limited space is available for the placement of a new building. A new larger building footprint (i.e. with fewer storeys but equivalent number of suites) could not be constructed while keeping the existing facility operational, thereby requiring the inconvenient and disruptive displacement of residents from their homes during the construction period.

Waste Storage Area Location

Section 4.1.5 of the Zoning By-law provides standards for the location of accessory buildings containing waste storage areas, and Section 4.1.5 b)i) indicates that waste storage areas are only permitted within the interior side yard and rear yard. As proposed on the enclosed Site Plan, the proposed waste storage area is sited adjacent to the main building within the exterior yard provided along Princess Street. The location of the proposed waste storage area was chosen to ensure the area is sited near the main building's waste disposal room and to avoid placement near the outdoor amenity areas and within the rear yard near adjacent residential uses.

The proposed waste disposal area location is approximately 8m from the exterior lot line and nearly 16m from the asphalt portion of the road. To mitigate any impacts resulting from the proposed waste storage area, earth bin structures are proposed. Earth bin containment units, through the below-grade design, are an effective waste disposal system that can reduce both odour and visual impacts. In combination with earth bin systems, the landscaping design includes additional planting elements to screen the waste storage area from public view.

Loading Space Location

Section 5.7 of the Zoning By-law provides standards regarding loading spaces and it is understood that under a loading space is not required for the proposed long-term care home. However, as the use will require a loading space to receive routine deliveries, one loading space is provided on the property.

Similar to the proposed outdoor waste storage area, the loading space has been sited adjacent to main building within the exterior yard provided along Princess Street. Therefore, the amendment seeks to permit the loading space within the exterior yard. The proposed location will ensure the loading area is sited close to the building delivery doors. The loading space provided meets all other minimum standards of Section 5.7. As demonstrated on the site plan, appropriate screening elements from the adjacent street can be achieved through the landscape design.

With the exceptions of the zone provisions captured in the Zoning By-law amendment application, the proposed site design and use meet applicable standards of the Municipality's Zoning By-law.

4.0 SUPPORTING MATERIALS

The following materials have been prepared in support of the zoning by-law amendment and site plan control applications and should be read in conjunction with this Planning Rationale.

4.1 Site Servicing and Stormwater Management

A Site Servicing and Stormwater Management Report, has been prepared by Novatech, dated June 14, 2021 based on the proposed development and layout. The report demonstrates that the development can be adequately serviced with storm and sanitary sewers and watermain. Please see the full report and detailed design included with the site plan submission for details.

4.2 Environmental Site Assessment

Terraprobe conducted an initial Phase One and Phase Two Environmental Site Assessment in March 2020. Due to the change in site design, the Phase One Environmental Site Assessment (dated June 1, 2021) was updated in relation to the proposed development to identify the general subsurface conditions at the subject property and assess areas of potential environmental concern. Soil impacted with lead was found in the vicinity of borehole BH8, and as such a Remedial Action Plan is recommended to be developed to address the excavation for the removal of the impacted material in the vicinity of the borehole. There were no exceedances of the applicable Site Condition Standards associated with ground water on the property. Please refer to the full reports for details.

4.3 Geotechnical Investigation

A Geotechnical Investigation dated June 14, 2021 has been prepared by Terraprobe to identify the general subsurface conditions at the subject property and provide geotechnical recommendations for the design and construction of the project. The subsurface conditions based on test hole observations appear to be suitable for the proposed development. The Geotechnical Investigation dated June 14, 2021 considers the proposed development of a new 7-storey nursing home and provides recommendations accordingly. Please refer to the full report for details.

4.4 Heritage Impact Assessment

A Heritage Impact Assessment (HIA) was prepared by MHBC in March 2018 and was followed by two addendum letters dated March 6, 2021 and April 21, 2021. The letter describes the history of this application related to the Municipality's attempt to designate the property under Section 29 of the *Ontario Heritage Act*, where the application was heard by the Conservation Review Board. An agreement was subsequently made between the Municipality and the property owner to permit the demolition of all existing buildings for the construction of a new Long-Term Health Care Facility, subject to conditions. The HIA provides a series of recommendations should Council approve the demolition of the cultural heritage resources, including that a Cultural Heritage Documentation and Salvage Report, and Commemoration Plan be drafted prior to the demolition of the buildings and that the HIA be filed with the Municipality of Port Hope to supplement the Historic Record. Please refer to the full report for details.

4.5 Sun/Shadow Study

A Shadow Analysis was prepared by SJL Architect Inc dated May 25, 2021. The analysis shows the greatest shadow impact will be on the properties along the east side of Hope Street during the evening hours, as per the analysis conducted for June 21st and September 21st. The analysis also includes a comparison of as-of-right 19m tall building on the north portion of the property, in comparison with the proposed building height of 26m in roughly the same location. The sun shadow analysis demonstrates that throughout the day sun shadows are generally cast on the three adjacent public roads, which serve to provide considerable spatial buffer from adjacent uses. In comparison to the shadows cast in relation to the as-of-right building, it is considered that the narrower shadow cast by the proposed taller building will have a less dramatic shadow impact on properties in the immediate vicinity.

4.6 Traffic Impact Study

Through consultation with Municipal Staff a Traffic Impact Study has not been included with the formal application submission. A Traffic Impact Study will be prepared and submitted after the collection of traffic counts would be considered representative of background traffic conditions.

4.7 Hydrogeological Assessment

A Hydrogeological Assessment dated June 16, 2021 has been prepared by Terraprobe to estimate the potential short-term construction dewatering requirements associated with the proposed development and to assess groundwater quality in comparison to the Municipality's Sanitary and Storm Sewer Discharge By-law to provide comments on discharge options. The Assessment dated June 14, 2021 considers the proposed development of a new 7-storey nursing home and provides recommendations accordingly. Please refer to the full report for details.

5.0 CONCLUSION

This Planning Rationale has been prepared in relation to a proposed Zoning By-law amendment and Site Plan Control applications to support the redevelopment of lands known locally as

65 Ward Street in the Municipality of Port Hope. The proposed redevelopment of the site is to accommodate a new seven-storey, 192-bed long term care home facility.

It is our assessment that the proposed redevelopment is consistent with both the 2020 Provincial Policy Statement and the Growth Plan for Greater Golden Horseshoe, and it conforms to both the Northumberland County Official Plan and the Municipality of Port Hope Official Plan. The proposed redevelopment of the site maintains an existing land use on the property while providing a need in the community to provide additional special needs housing and health care services.

While the proposed height of the proposed building exceeds the maximum permitted building height for uses in the Urban Institutional zone, it is considered that the additional height will not disrupt the residential character of the neighbourhood. Through careful site planning and design, consideration has been given to the layout of the site to account for building orientation, setbacks from streets, site access/circulation and accommodation of on-site parking, and the continuation existing service to residents during construction. The redevelopment of the existing care facility with a new, larger and modern long-term care facility provides an important opportunity for the Municipality to meet its housing objectives, and overall goals regarding intensification and efficiency of land use and infrastructure services.

The proposed Site Plan Control application will ensure the implementation of the proposed redevelopment in a safe and orderly manner. It is our opinion the proposed development represents good land use planning.

NOVATECH

Prepared By:



**Kianna Simmons
Planner**



**Jordan Jackson, MCIP, RPP
Planner**

Reviewed By:



**Steve Pentz, MCIP, RPP
Senior Project Manager**

APPENDIX A
PROPOSED SITE PLAN

NOTES:
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 3) DO NOT SCALE DRAWINGS.
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

AUTOMOBILE PARKING SUMMARY

REQUIRED PARKING			
NURSING HOME (1 SPACE PER 2 BEDS)	192 BEDS / 2 = 96	PARKING SPACES REQUIRED	
TOTAL PROVIDED	100	PARKING SPACES	
PROVIDED PARKING			
REGULAR SPACES	MIN. 2.7m x 5.5m	-	96
ACCESSIBLE SPACES	TYPE A (3.4m x 5.5m)	-	2
ACCESSIBLE SPACES	TYPE B (2.4m x 5.5m)	-	2
TOTAL	= 100 PROVIDED PARKING SPACES		

BICYCLE PARKING SUMMARY

REQUIRED BICYCLE PARKING			
2 SPACES PLUS 1 PER 1,000sq.m OF NFA	NET FLOOR AREA = 10,634sq.m	10,634 / 1,000 = 10.6 + 2 = 13 spaces	
TOTAL PROVIDED	13 BICYCLE SPACES		

LOADING SPACE SUMMARY

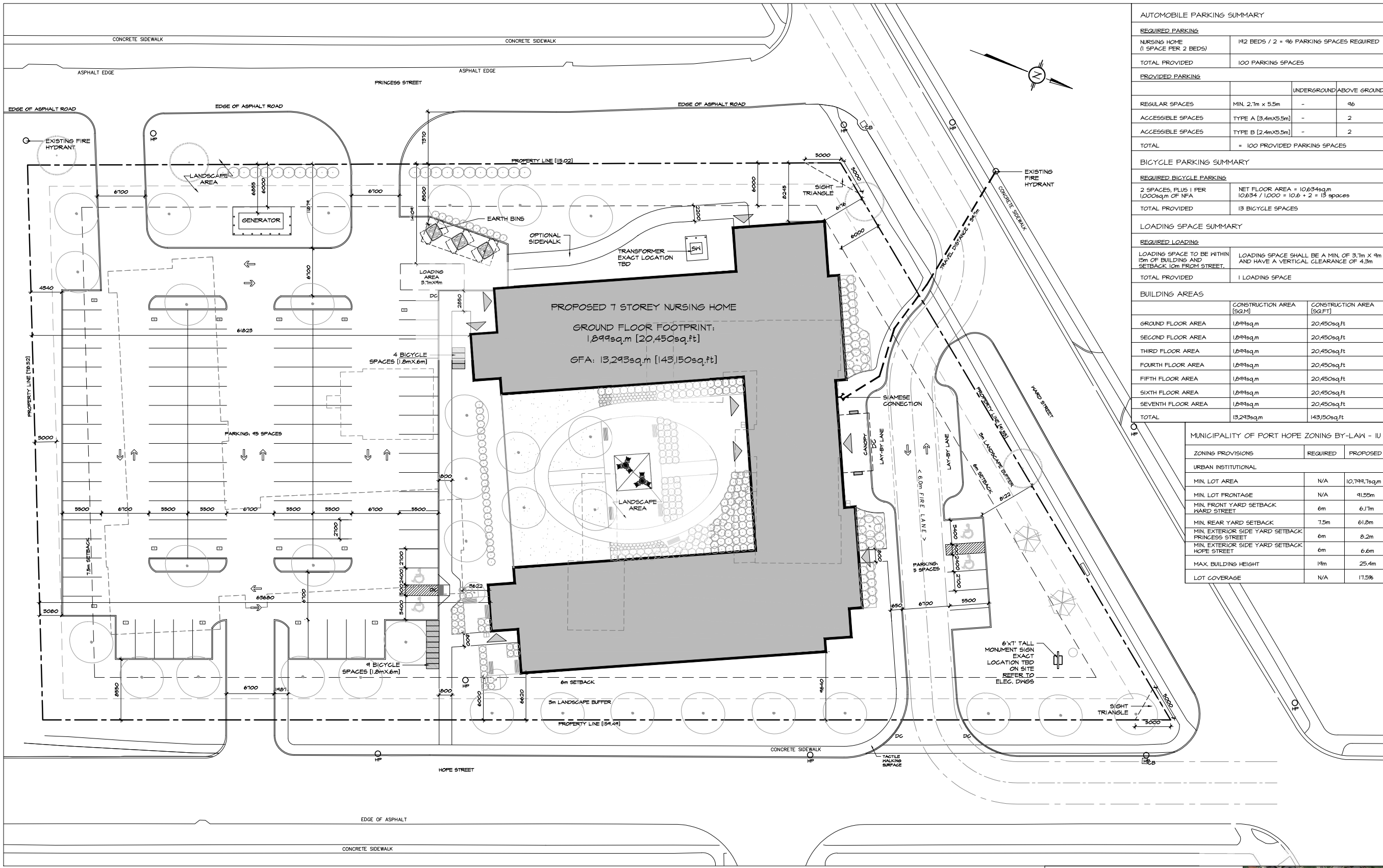
REQUIRED LOADING	
LOADING SPACE TO BE WITHIN 15m OF BUILDING AND SETBACK 10m FROM STREET.	LOADING SPACE SHALL BE A MIN. OF 3.7m x 9m AND HAVE A VERTICAL CLEARANCE OF 4.3m
TOTAL PROVIDED	1 LOADING SPACE

BUILDING AREAS

	CONSTRUCTION AREA [SQ.M]	CONSTRUCTION AREA [SQ.FT]
GROUND FLOOR AREA	1,899sq.m	20,450sq.ft
SECOND FLOOR AREA	1,899sq.m	20,450sq.ft
THIRD FLOOR AREA	1,899sq.m	20,450sq.ft
FOURTH FLOOR AREA	1,899sq.m	20,450sq.ft
FIFTH FLOOR AREA	1,899sq.m	20,450sq.ft
SIXTH FLOOR AREA	1,899sq.m	20,450sq.ft
SEVENTH FLOOR AREA	1,899sq.m	20,450sq.ft
TOTAL	13,293sq.m	143,150sq.ft

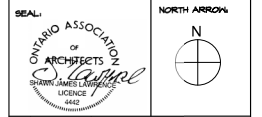
MUNICIPALITY OF PORT HOPE ZONING BY-LAW - IU

ZONING PROVISIONS	REQUIRED	PROPOSED
URBAN INSTITUTIONAL		
MIN. LOT AREA	N/A	10,744.7sq.m
MIN. LOT FRONTAGE	N/A	41.55m
MIN. FRONT YARD SETBACK WARD STREET	6m	6.77m
MIN. REAR YARD SETBACK	7.5m	61.8m
MIN. EXTERIOR SIDE YARD SETBACK PRINCESS STREET	6m	8.2m
MIN. EXTERIOR SIDE YARD SETBACK HOPE STREET	6m	6.6m
MAX. BUILDING HEIGHT	19m	25.4m
LOT COVERAGE	N/A	17.5%



01 SITE PLAN
SCALE: 1:250

PART I: PLAN OF SURVEY SHOWING TOPOGRAPHY OF LOTS 21,22,23,24,25,26,27,28,29,30 AND 31 SMITH ESTATE PLAN TOWN OF PORT HOPE NOW IN THE MUNICIPALITY OF PORT HOPE COUNTY OF NORTHUMBERLAND BY ELLIOTT AND PARR (PETERBOROUGH) LTD. DATED 08/23/2014



No.	DATE	REVISION
08	2021.08.14	ISSUED FOR ZONING & SPC
04	2021.06.02	ISSUED FOR REVIEW
08	2021.08.26	ISSUED FOR REVIEW
02	2021.01.28	ISSUED FOR REVIEW
01	2020.12.10	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
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 K2E 8P7
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PROJECT:
PORT HOPE NURSING HOME
 20 HOPE ST. SOUTH ON LIA 2ND

SHEET TITLE:
SITE PLAN

DRAWN BY: A.L.
 CHECKED BY: S.J.L.
 PLOT DATE: 2021.06.14
 PROJECT DATE: 2020.10.31
 JOB NUMBER: SL-1054-20
 SCALE: AS SHOWN
 SHEET NUMBER: