

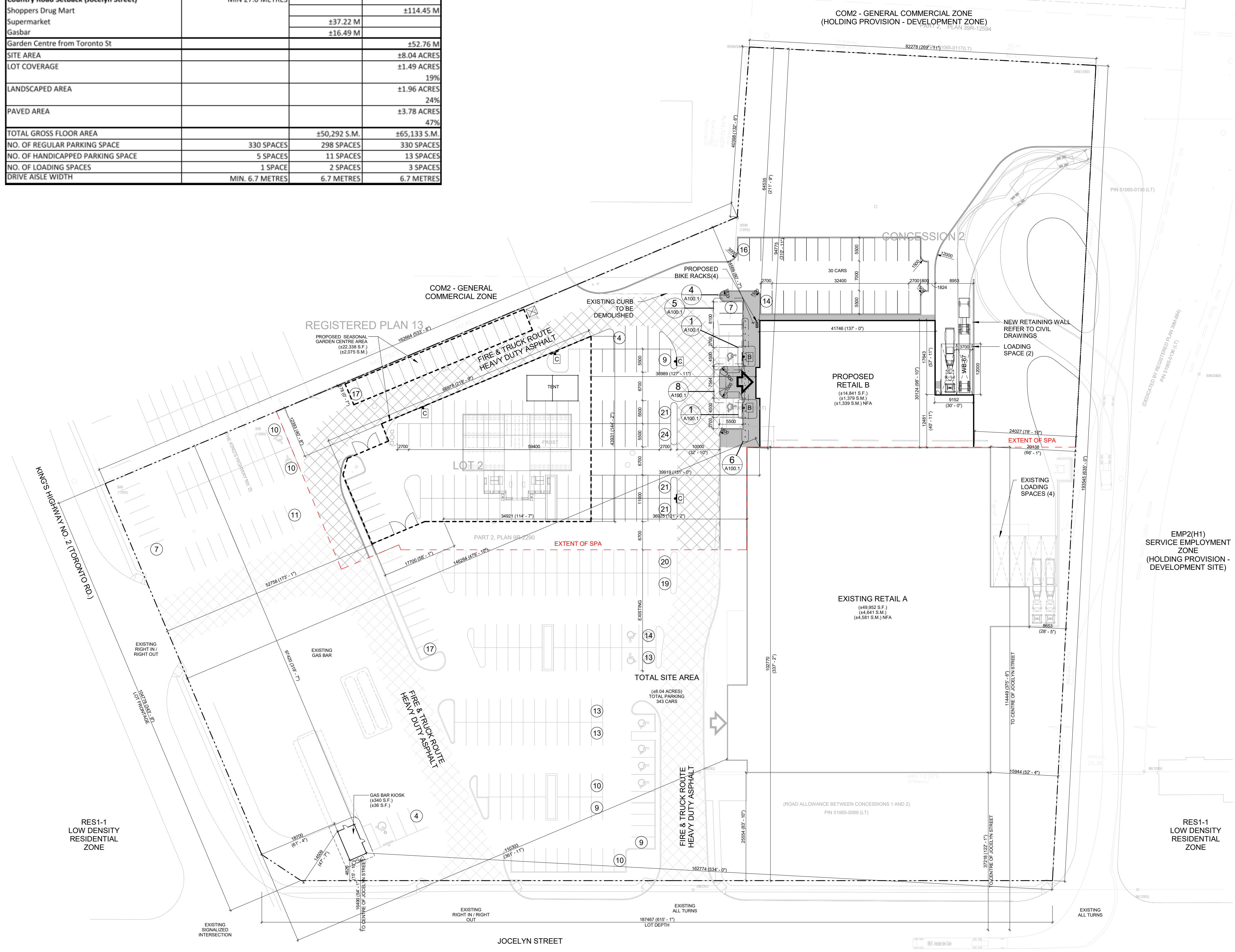
ZONING COMPLIANCE CHART			
	REQUIRED	EXISTING	PROPOSED
LOT AREA	MIN. ±3,700 S.M.	±32,537 S.M.	±32,537 S.M.
LOT FRONTAGE	MIN. 60 METRES	±104.70 M	±104.70 M
<b>Shoppers Drug Mart</b>			
FRONT YARD SETBACK (Toronto Road)	MIN. 3.0 METRES		±146.26 M
REAR YARD SETBACK	MIN. 0.0 METRES		±24.03 M
EXTERIOR SIDE YARD SETBACK (Jocelyn Street)	MIN. 7.5 METRES		±102.77 M
INTERIOR SIDE YARD SETBACK	MIN. 0.0 METRES		±24.57 M
BUILDING HEIGHT	MIN ±7.50 M, MAX ±11.00 M		±8,230.00 M
<b>Supermarket</b>			
FRONT YARD SETBACK (Toronto Road)	MIN. 3.0 METRES		±110.30 M
REAR YARD SETBACK	MIN. 0.0 METRES		±8.65 M
EXTERIOR SIDE YARD SETBACK (Jocelyn Street)	MIN. 7.5 METRES		±25.55 M
INTERIOR SIDE YARD SETBACK	MIN. 0.0 METRES		±94.78 M
<b>Gasbar</b>			
FRONT YARD SETBACK (Toronto Road)	MIN. 3.0 METRES		±18.70 M
REAR YARD SETBACK	MIN. 0.0 METRES		±162.77 M
EXTERIOR SIDE YARD SETBACK (Jocelyn Street)	MIN. 7.5 METRES		±4.83 M
INTERIOR SIDE YARD SETBACK	MIN. 0.0 METRES		±97.42 M
<b>Country Road Setback (Jocelyn Street)</b>			
Shoppers Drug Mart			±114.45 M
Supermarket			±37.22 M
Gasbar			±16.49 M
Garden Centre from Toronto St			±52.76 M
SITE AREA		±8.04 ACRES	
LOT COVERAGE		±1.49 ACRES	
LANDSCAPED AREA		19%	
PAVED AREA		±1.96 ACRES	
		24%	
		47%	
TOTAL GROSS FLOOR AREA		±50,292 S.M.	±65,133 S.M.
NO. OF REGULAR PARKING SPACE	330 SPACES	298 SPACES	330 SPACES
NO. OF HANDICAPPED PARKING SPACE	5 SPACES	11 SPACES	13 SPACES
NO. OF LOADING SPACES	1 SPACE	2 SPACES	3 SPACES
DRIVE AISLE WIDTH	MIN. 6.7 METRES	6.7 METRES	6.7 METRES

Parking Requirement		
	REQUIRED	PROVIDED
Retail Store (Old By-Law) - Retail A (1 Space/ 20.5 S.M NFA) (4,581 S.M.)	224 CARS	
Retail Store - Retail B (1 Space/ 20.0 S.M NFA) (1,339 S.M.)	67 CARS	
Retail Store - Gas Bar Kiosk (1 Space/ 20.5 S.M NFA) (32 S.M.)	2 CARS	
Total Regular Site Parking	293 CARS	330 CARS
Barrier-free Spaces (1.5% of the Required Parking Spaces)	5 CARS	13 CARS
Total Site Parking (INCL. Garden Centre)	298 CARS	343 CARS
Total Site Parking (INCL. Garden Centre) (84 CARS)		259 CARS

Minimum Bicycle Parking Spaces		
2 Spaces plus 1 Space / 1,000 SM NFA (1,339 SM)	4 SPACES	4 SPACES

NFA = NET FLOOR AREA  
Net Floor Area is derived when the construction area, or the outer walls of the building, is deducted from the gross floor area

	Statistics					
	EXISTING		PROPOSED		Net Gain / Loss	
	Imperial (SF)	Metric (SM)	Imperial (SF)	Metric (SM)	Imperial (SF)	Metric (SM)
1. Retail A	±49,952 S.F	±4,641 S.M	±49,952 S.F	±4,641 S.M	0 S.F	0 S.M
2. Retail A Net Floor Area	±49,309 S.F	±4,581 S.M	±49,309 S.F	±4,581 S.M	0 S.F	0 S.M
3. Retail B	±0 S.F	±0 S.M	±14,841 S.F	±1,379 S.M	14,841 S.F	1,379 S.M
4. Gasbar Kiosk Area	±340 S.F	±32 S.M	±340 S.F	±32 S.M	0 S.F	0 S.M
5. Total Retail Area	±50,292 S.F	±4,672 S.M	±65,133 S.F	±6,051 S.M	14,841 S.F	1,379 S.M
6. Proposed Garden Centre	±0 S.F	±0 S.M	±22,338 S.F	±2,075 S.M	22,338 S.F	2,075 S.M
7. Site Area	±8.04 ACRES	±3.25 HA	±8.04 ACRES	±3.25 HA		
8. Parking Provided (N.I.C. Garden Centre)	309 CARS		343 CARS			
9. Parking Provided (INC. Garden Centre)			259 CARS			
10. Number of Handicapped Parking Spaces	11 SPACES		13 SPACES			



Item	Ontario Building Code Matrix Parts 3 & 9				OBC Reference						
	Project Description	Part 11	Part 3	Part 9	3.1.2.1(1)	3.1.3.2	3.1.3.2				
1	Project Description <input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	2.1	9.10.1.3					
2	Major Occupancy(s) GROUP E										
3	Building Area (sq. M) Existing N/A New 1,379 Total 1,379				3.1.3.2						
4	Gross Area (sq. M) Existing N/A New 1,379 Total 1,379				3.2.1.1 & 1.1.3.2						
5	Number of Storeys Above grade 1 Below grade N/A				2.1.1.3						
6	Height of Building (m) 6.147				3.2.2.10 & 3.2.5						
7	Number of Streets/Access Routes 1				3.2.2.61						
8	Building Classification 3.2.2.61										
9	Sprinkler System Proposed <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Basement only <input checked="" type="checkbox"/> In lieu of roof rating <input type="checkbox"/> Not required										
10	Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.9						
11	Fire Alarm Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.4						
12	Water Service/Supply is Adequate <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.5.7						
13	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.6						
14	Permitted Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both Actual Construction <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both				3.2.2.57						
15	Mezzanine(s) Area (sq. M)				3.2.1.1(3)-(8)						
16	Occupant load based on Occupancy: E Load: 373 Persons				3.1.17						
17	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)				3.8						
18	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.3.1.2 & 3.3.1.19						
19	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Floors N/A Roof N/A Mezzanine N/A FRR of Supporting Members	Listed Design No. or Description (SB-2) ULC F818 - - Listed Design No. or Description (SB-2)		3.2.2.57-83 & 3.2.1.4						
This Section For Ground Floor Only	Floors	N/A	Hours	SB-2							
	Roof	N/A	Hours	-							
	Mezzanine	N/A	Hours	-							
This Section For 2nd - 4th Floors Only	Floors	N/A	Hours	SB-2							
	Roof	N/A	Hours	-							
	Mezzanine	N/A	Hours	-							
20	Spatial Separation - Construction of Exterior Walls				3.2.3.1D						
GROUND FLOOR	Wall	Area of EBF (sqm)	L/D (m)	L/H or H/L	Permitted Max % of Openings	Proposed % of Openings	FRR (hours)	Listed Design or Description	Comb Const	Comb. Constr Non. Cladding	Non-Comb Const
	North	289	24.6	1/8.3	100	0	2				X
	South	-	-	-	-	-	-				X
	East	171	24.03	1/4.9	100	0	2				X
West	171	146.3	1/3.6	100	37	2				X	

# TURNER FLEISCHER

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**PART OF LOTS 1 AND 2 REGISTERED PLAN 13 AND PART OF LOT 10 CONCESSION 2 (GEOGRAPHIC TOWNSHIP OF HOPE) MUNICIPALITY OF PORT HOPE COUNTY OF NORTHUMBERLAND**

### LEGEND

- ENTRANCE ARROW
- EXIT ARROW
- SIGN
- FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- CONCRETE SIDEWALK

3	2021-11-05	ISSUED FOR COORDINATION	TLA
2	2021-11-04	ISSUED FOR COORDINATION	TLA
1	2021-10-12	ISSUED FOR SPA	TLA

PROJECT  
**20 JOCELYN ROAD**  
PORT HOPE, ON

DRAWING  
**SITE PLAN**

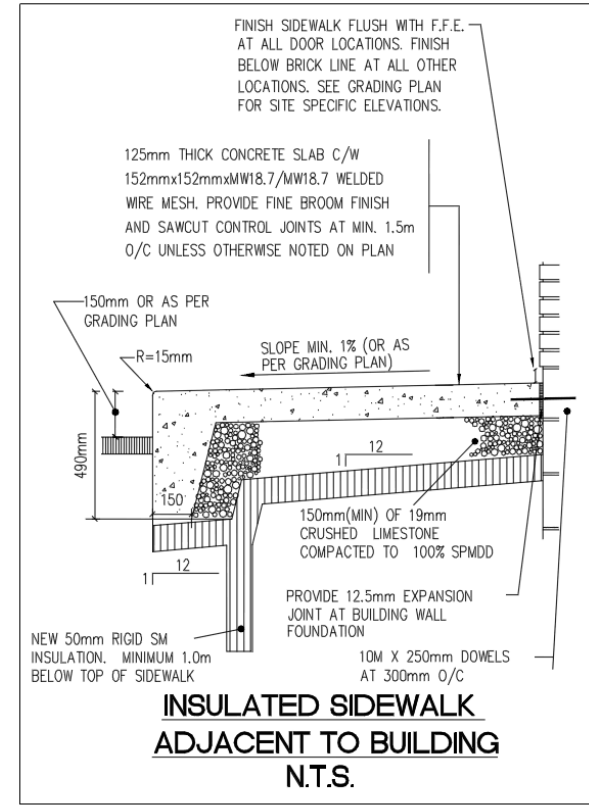
PROJECT NO.	04.088
PROJECT DATE	2021-09-02
DRAWN BY	TLA
CHECKED BY	TLA
SCALE	As indicated

DRAWING NO. **A100**

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SYMBOL	SIGN	DESCRIPTION
A	STOP	"STOP" SIGN Rb-1 (800x800mm) WHITE REFL. LEGEND & BORDER, RED REFL. BACKGROUND
B	DISABLED PARKING PERMIT	"DISABLED PARKING PERMIT" SIGN Rb-4 (800x800mm) RED REFL. INTERDICTIONARY SYMBOL, BLUE REFL. SYMBOL OF ACCESS & SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
C	FIRE ROUTE	"FIRE ROUTE" SIGN Rb-4 (800x800mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
D	LOADING ZONE	"LOADING ZONE" SIGN Rb-4 (800x800mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
E	CROSS OTHER SIDE	"CROSS OTHER SIDE" SIGN Rb-4 (800x800mm) BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
F	LEFT TURN ONLY	"LEFT TURN ONLY" SIGN Rb-4 (800x800mm) WHITE REFL. SYMBOL ON BLACK BACKGROUND, BLACK BACKGROUND
G	RIGHT TURN ONLY	"RIGHT TURN ONLY" SIGN Rb-4 (800x800mm) WHITE REFL. SYMBOL ON BLACK BACKGROUND, WHITE REFL. BORDER, BLACK BACKGROUND
H	LEFT/RIGHT TURN ONLY	"LEFT/RIGHT TURN ONLY" SIGN Rb-4 (800x800mm) WHITE REFL. SYMBOL ON BLACK BACKGROUND, WHITE REFL. BORDER, BLACK BACKGROUND
I	PROCEED WITH CAUTION	"PROCEED WITH CAUTION" SIGN Rb-4 (800x800mm) BLACK SYMBOL, LEGEND & BORDER, CAUTION YELLOW REFL. BACKGROUND
J	DO NOT ENTER	"DO NOT ENTER" SIGN Rb-2 (300x800mm) RED REFL. LEGEND, BLACK BORDER, WHITE REFL. BACKGROUND
K	ONE-WAY	"ONE-WAY" SIGN Rb-2 (300x800mm) WHITE REFL. LEGEND & BORDER, BLACK BACKGROUND

1 SIGN LEGEND  
A100.1 1:40



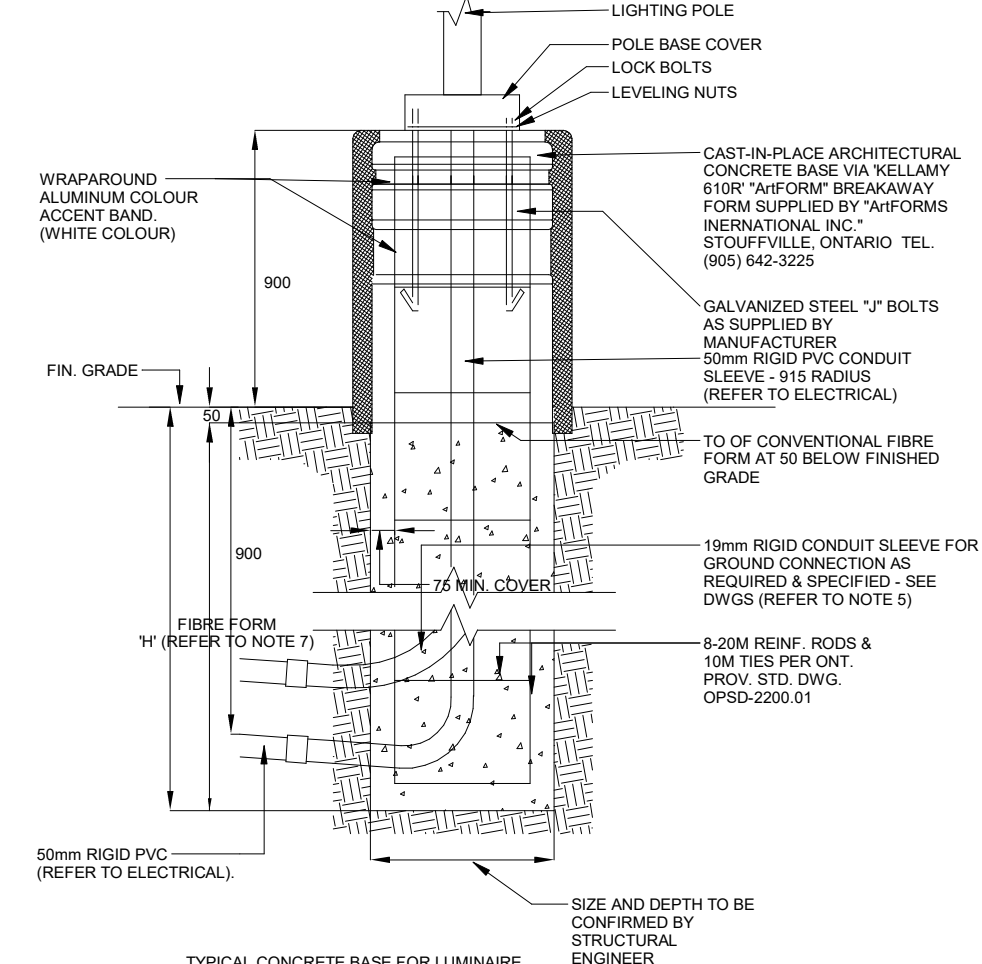
2 INSULATED SIDEWALK DETAIL  
A100.1 N.T.S.

**NOTE:**  
CONCRETE BASES FOR LUMINAIRES TYPE "L1, L1A" & "L1B" TO BE SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

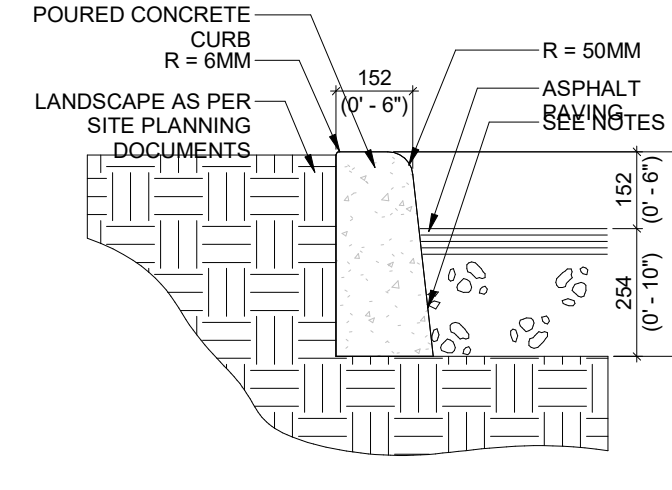
**NOTES:**

- ALL DIMENSIONS ARE IN MILLIMETERS OR METERS.
- TOP OF FOUNDATION SHALL BE TROWELLED SMOOTH & LEVEL.
- CLASS OF CONCRETE SHALL BE 25MPa. CONCRETE SHALL BE VIBRATED.
- MINIMUM OF TWO SLEEVES REQUIRED FOR EACH CONC. FOUNDATION UNLESS OTHERWISE SHOWN.
- PROVIDE A 19mm DIA. 3000mm STEEL COPPER COATED GROUND ROD ADJACENT TO POLES AS SPECIFIED ON PLAN AND CONNECT TO METAL POLE WITH WARE COPPER CONDUCTOR.
- CONTRACTOR TO VERIFY OVERHEAD SIZE IN POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES. CONTRACTOR TO PROVIDE STRUCTURAL ENGINEER APPROVAL FOR BASE DESIGN.
- SUBJECT TO SOIL CONDITIONS, REFER TO SOIL REPORT.
- FORM RELEASE AGENT HAS BEEN FACTORY-APPLIED TO INSIDE SURFACE OF "FORM".

POLE LENGTH (M)	BASE BURIAL DEPTH (M)	REF. INDO LENGTH (M)
3.0	1.50	1.35
3.6	2.15	2.00
7.0	2.15	2.00
7.5	2.15	2.00
8.7	2.45	2.30
9.0	2.45	2.30
10.5	2.60	2.45
12.0	2.75	2.60
13.6	2.90	2.75
15.1	3.05	2.90

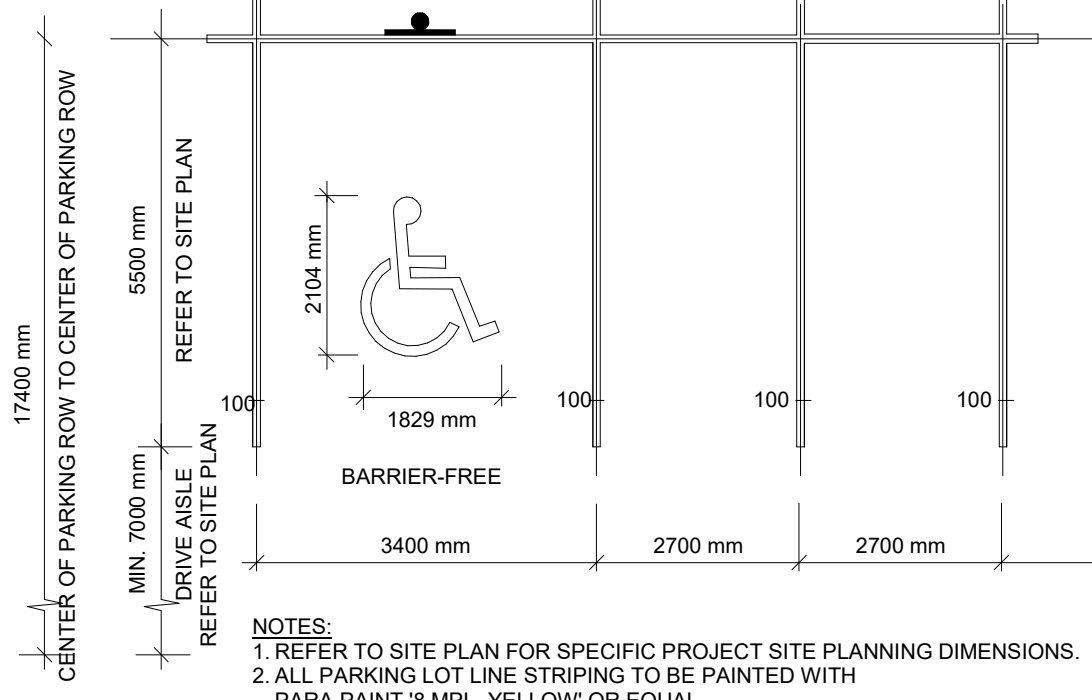


3 LIGHT STANDARD  
A100.1 1:500

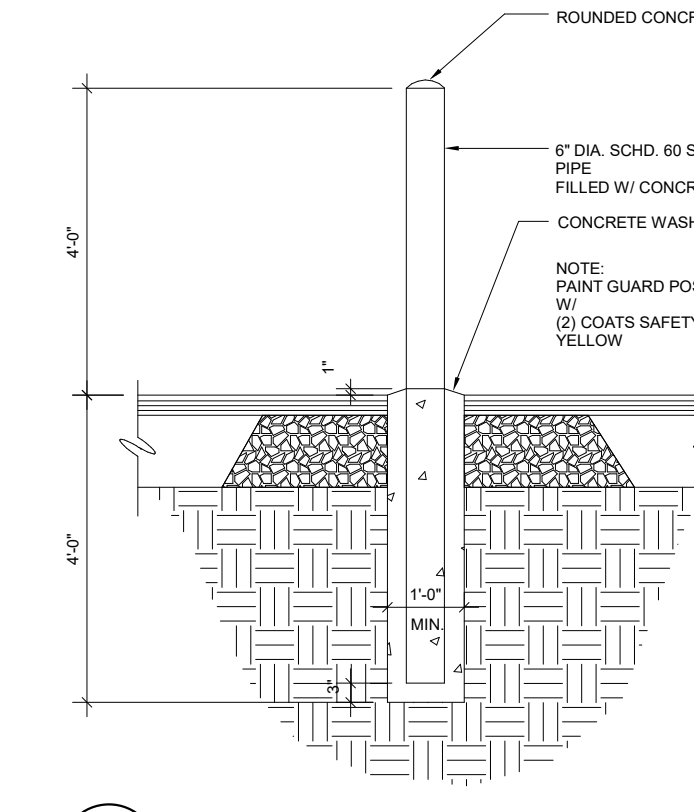


- NOTES:**
- TREATMENT AT ENTRANCES SHALL CONFORM WITH OPSD-351.01
  - OUTLET TREATMENT SHALL CONFORM WITH OPSD-610 SERIES
  - THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M, EXCEPT IN CONJUNCTION WITH GUIDE RAIL, IT SHALL CONFORM TO OPSD-900 SERIES

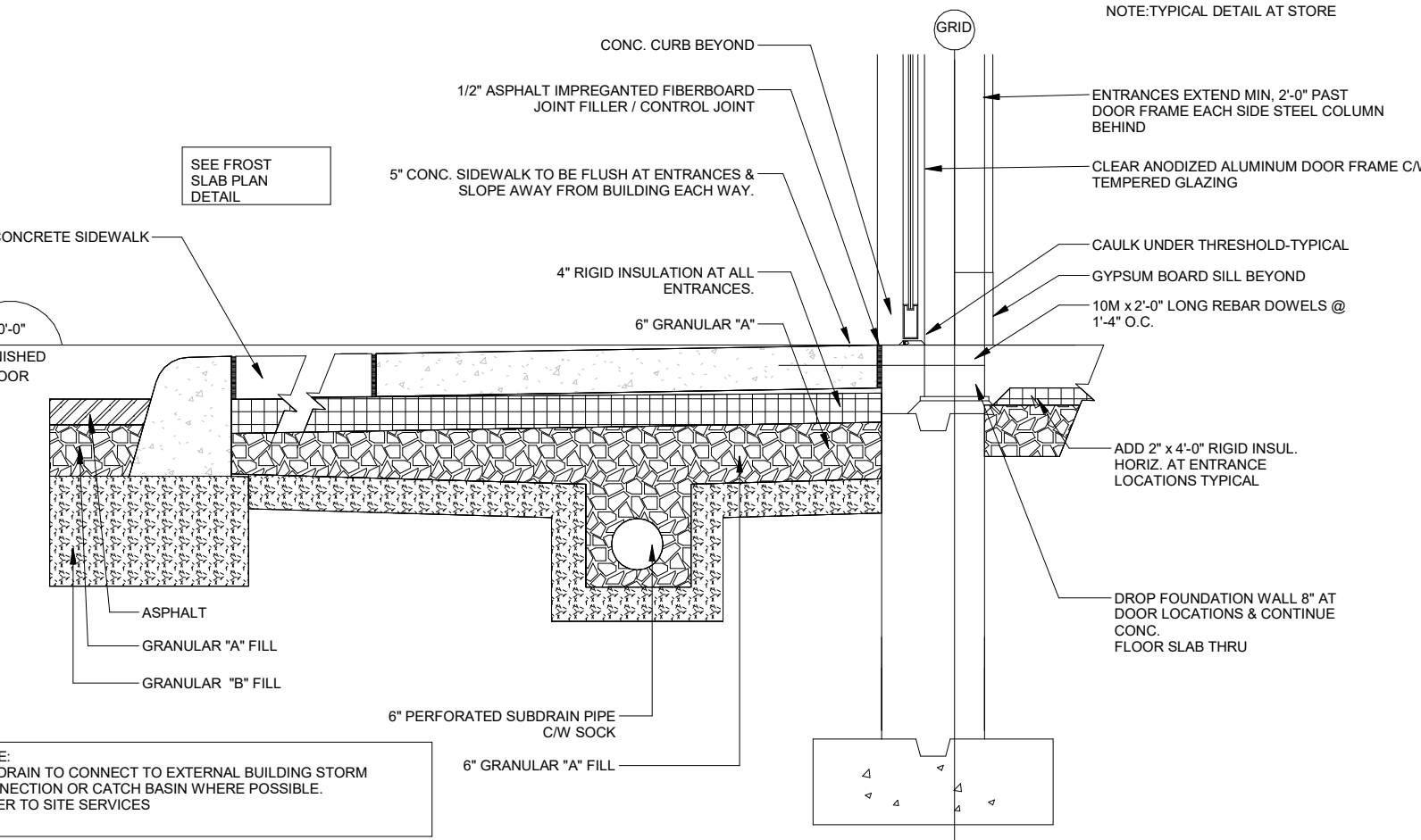
5 PARKING DETAIL  
A100.1 N.T.S.



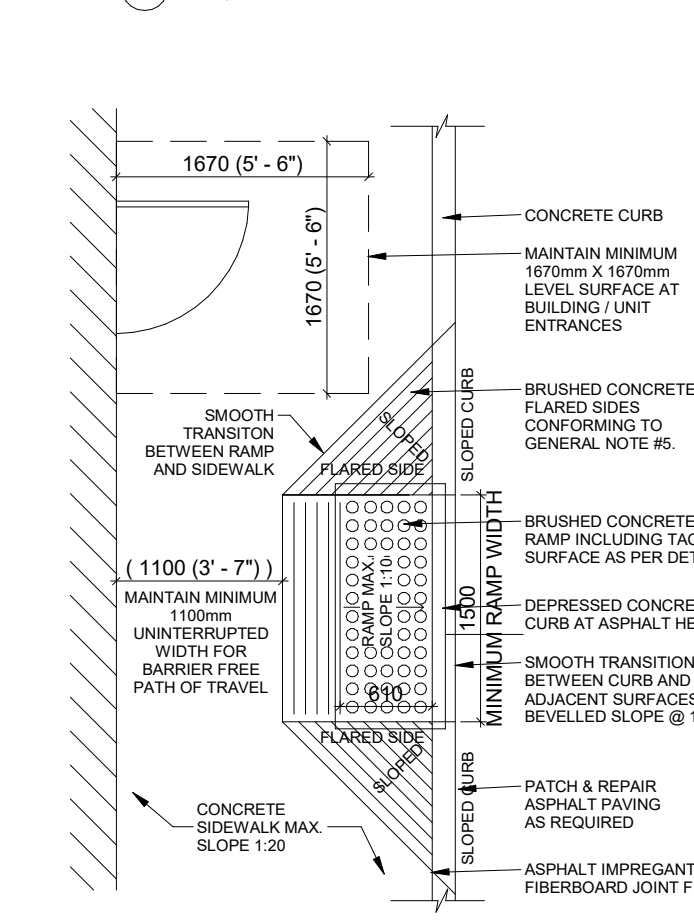
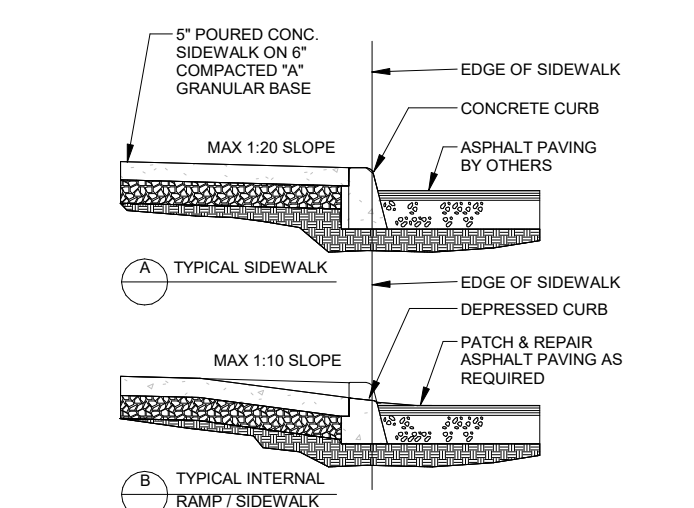
- NOTES:**
- REFER TO SITE PLAN FOR SPECIFIC PROJECT SITE PLANNING DIMENSIONS.
  - ALL PARKING LOT LINE STRIPING TO BE PAINTED WITH PAPA PAINT 3 MP, YELLOW OR EQUAL.
  - ALL PARKING DIMENSIONS SHOWN ARE MINIMUM. CONFIRM REQUIRED SIZES WITH LOCAL AUTHORITY HAVING JURISDICTION.
  - REFER TO SITE PLAN FOR END CONDITION (6" LINE OR HATCHED PAINTED ISLAND)



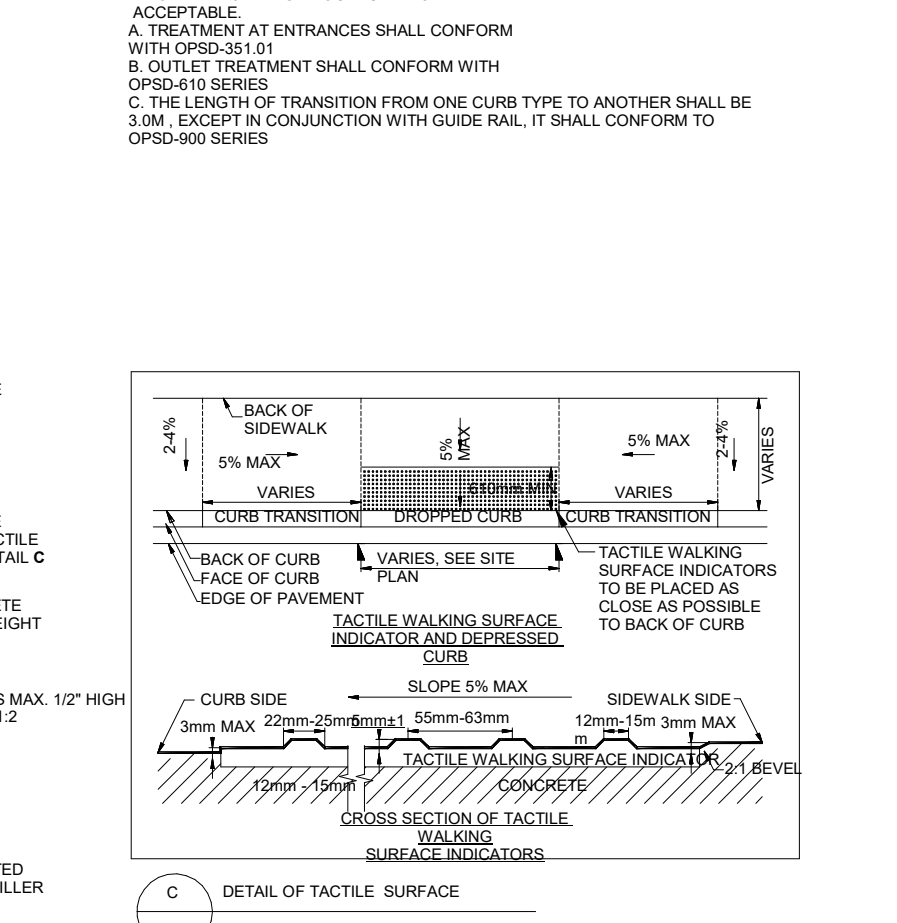
6 BOLLARD DETAIL 2  
A100.1 1:30



7 FROST SLAB SECTION  
A100.1 1:20



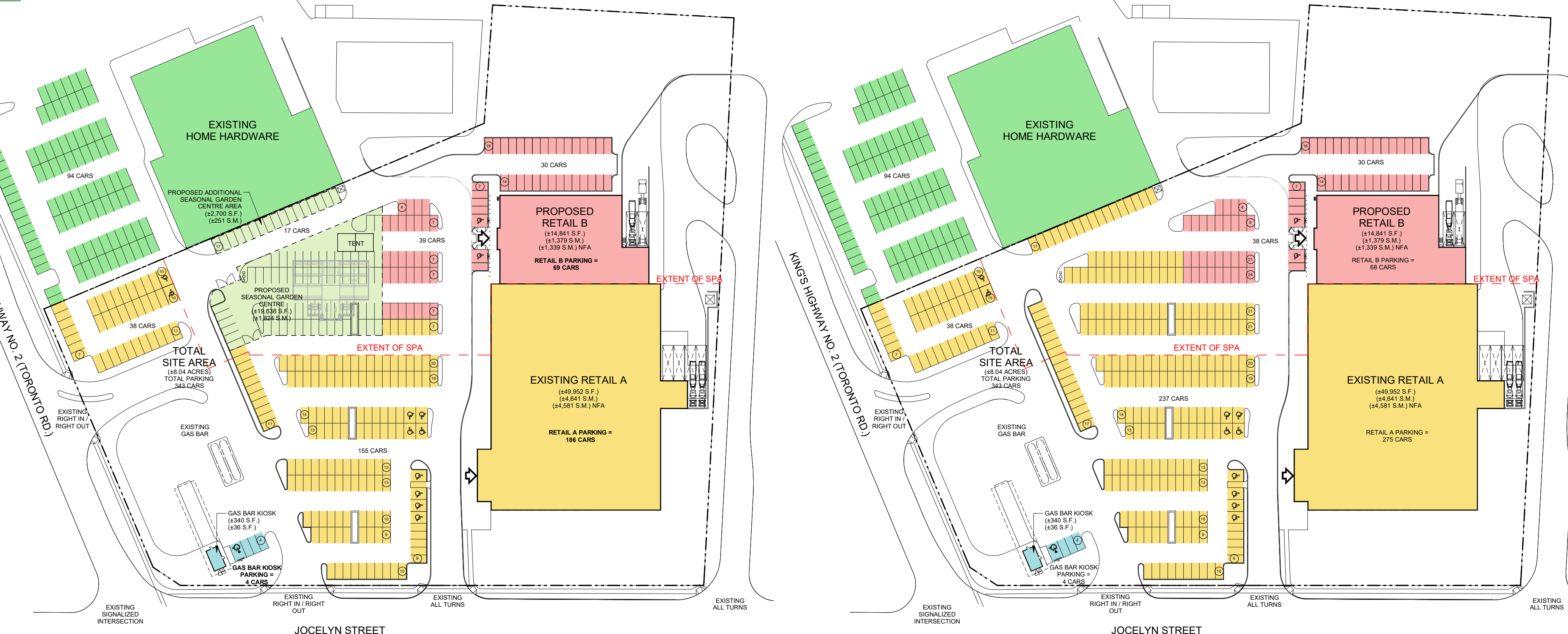
- GENERAL NOTES:**
- SIDEWALK SLOPES TO BE 1/8" / FT. (1%)
  - MAX IN ALL DIRECTIONS ALONG STEPFREONT, 1/4" (2%) MAX IN OTHER AREAS.
  - EXPANSION JOINTS ARE TO BE AS SPECIFIED & AS LOCATED ON ARCHITECTURAL DOCUMENTS.
  - CONCRETE TO BE BROOM FINISHED AS PER ARCHITECTURAL SPECIFICATIONS.
  - CONSTRUCTION OF CURB RAMP TO BE IN ACCORDANCE WITH THE REQUIREMENTS IN PROVINCE OF ONTARIO - DESIGN OF PUBLIC SPACES STANDARD - PART 11.1 OF ONTARIO REGULATION 191/11. IT MUST HAVE TACTILE WALKING SURFACE INDICATORS THAT:
    - HAVE RAISED TACTILE PROFILES.
    - HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT SURFACE.
    - ARE LOCATED AT THE BOTTOM OF THE CURB RAMP.
    - ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE.
    - EXTEND THE FULL WIDTH OF THE CURB RAMP, AND
    - ARE A MINIMUM OF 610mm IN DEPTH.
- NOTES:**
- WHERE SIDEWALK IS CONTINUOUSLY ADJACENT, REDUCE THE DROPPED CURB AT ENTRANCES TO 3"
  - FOR SLOPING PROCEDURE A 5% BATTER IS ACCEPTABLE.
  - TREATMENT AT ENTRANCES SHALL CONFORM WITH OPSD-351.01
  - OUTLET TREATMENT SHALL CONFORM WITH OPSD-410 SERIES
  - THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M, EXCEPT IN CONJUNCTION WITH GUIDE RAIL, IT SHALL CONFORM TO OPSD-900 SERIES



8 CURB RAMP WITH TACTILE PLATES  
A100.1 1:50

## LEGEND

- RETAIL A PARKING AREA
- RETAIL B PARKING AREA
- GASBAR PARKING AREA
- HOME HARDWARE PARKING AREA



9 PARKING DIAGRAM (INCLUDING GARDEN CENTRE)  
A100.1 1:1000

11 PARKING DIAGRAM (N.I.C. GARDEN CENTRE)  
A100.1 1:1000

#	DATE	DESCRIPTION	BY
2	2021-11-04	ISSUED FOR COORDINATION	TLA
1	2021-10-12	ISSUED FOR SPA	TLA

PROJECT  
**20 JOCELYN ROAD**

PORT HOPE, ON

DRAWING  
**SITE DETAILS**

PROJECT NO.  
04.088

PROJECT DATE  
2021-09-02

DRAWN BY  
TLA

CHECKED BY  
RCH

SCALE  
As indicated

DRAWING NO.  
**A100.1**